

Notice of Meeting



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Dear Elected Member

The next Ordinary meeting of the Shire of Wandering will be held on Thursday 21 September 2023 in the Council Chambers commencing at 2.30pm.

Schedule

2.30pm Ordinary Council Meeting

Alan Hart
Chief Executive Officer

15 September 2023

DISCLAIMER

No responsibility whatsoever is implied or accepted by the Shire of Wandering for any act, omission or statement or intimation occurring during Council or Committee meetings or during formal/informal conversations with staff. The Shire of Wandering disclaims any liability for any loss whatsoever and howsoever caused arising out of reliance by any person or legal entity on any such act, omission or statement or intimation occurring during Council or Committee meetings or discussions. Any person or legal entity that act or fails to act in reliance upon any statement does so at the person's or legal entity's own risk.

In particular and without derogating in any way from the broad disclaimer above, in any discussion regarding any planning application or application for a licence, any statement or limitation of approval made by a member or officer of the Shire of Wandering during the course of any meeting is not intended to be and is not taken as notice of approval from the Shire of Wandering. The Shire of Wandering warns that anyone who has an application lodged with the Shire of Wandering must obtain and only should rely on WRITTEN CONFIRMATION of the outcome of the application, and any conditions attaching to the decision made by the Shire of Wandering in respect of the application.

AGENDA

Shire of Wandering
Ordinary Council Meeting
21 September 2023

OUR VISION

Wandering is a community of responsible, resilient and adaptable residents thriving in our scenic, economically diverse environment.

We wish to acknowledge the traditional custodians of the land we are meeting on today. We acknowledge and respect their continuing culture and the contribution they make to the Shire of Wandering, and convey our respects to Elders past, present and emerging.

DISCLAIMER

INFORMATION FOR THE PUBLIC ATTENDING COUNCIL MEETINGS

Please Note:

The recommendations contained in this agenda are officers' recommendations only and should not be acted upon until Council has resolved to adopt those recommendations.

The resolutions of Council should be confirmed by perusing the minutes of the Council meeting at which these recommendations were considered.

Members of the public should also note that they act at their own risk if they enact any resolution prior to receiving official written notification of Council's decision.

Meeting Procedures:

1. All Council meetings are open to the public, except for matter raised by Council under "confidential items".
2. Members of the public may ask a question at an ordinary Council Meeting under "public question time".
3. Members of the public who are unfamiliar with meeting procedures are invited to seek advice at the meeting. If unsure about proceeding, just raise your hand when the presiding member announces public question time.
4. All other arrangements are in accordance with the Council's standing orders, policies and decision of the Shire of Wandering.

Council Meeting Information:

Your Council generally handles all business at Ordinary or Special Council Meetings.

From time to time Council may form a Committee to examine subjects and then report back to Council.

Generally all meetings are open to the public; however, from time to time Council will be required to deal with personal, legal and other sensitive matters under "confidential items". On those occasions Council will generally close that part of the meeting to the public. Every endeavour will be made to do this as the last item of business of the meeting.

Public Question Time. It is a requirement of the *Local Government Act 1995* to allow at least fifteen (15) minutes for public question time following the opening and announcements at the beginning of the meeting. Should there be a series of questions the period can be extended at the discretion of the presiding member.

Written notice of each question should be given to the Chief Executive Officer fifteen (15) minutes prior to the commencement of the meeting. A summary of each question and the response is included in the meeting minutes.

When a question is not able to be answered at the Council Meeting a written answer will be provided after the necessary research has been carried out. Council staff will endeavour to provide the answers prior to the next ordinary meeting of Council.

Councillors may from time to time have a financial interest in a matter before Council. Councillors must declare an interest and the extent of the interest in the matter on the Agenda. However, the Councillor can request the meeting to declare the matter trivial, insignificant or in common with a significant number of electors or ratepayers. The Councillor must leave the meeting whilst the matter is discussed and cannot vote unless those present agree as above.

Members of staff, who have delegated authority from Council to act on certain matters, may from time to time have a financial interest in a matter on the Agenda. The member of staff must declare that interest and generally the presiding member of the meeting will advise the Officer if he/she is to leave the meeting.

Agendas, including an Information Bulletin, are delivered to Councillors within the requirements of the *Local Government Act 1995*, i.e. seventy-two (72) hours prior to the advertised commencement of the meeting. Whilst late items are generally not considered there is provision on the Agenda for items of an urgent nature to be considered.

Should an elector wish to have a matter placed on the Agenda the relevant information should be forwarded to the Chief Executive Officer in time to allow the matter to be fully researched by a Shire Officer. An Agenda item, including a recommendation, will then be submitted to Council for consideration. The Agenda closes the Friday week prior to the Council Meeting (i.e. ten (10) days prior to the meeting).

The Information Bulletin produced as part of the Agenda includes items of interest and information, which does not require a decision of Council.

Agendas for Ordinary Meetings are available at the Shire of Wandering Office and on the Shire website seventy-two (72) hours prior to the meeting and the public are invited to view a copy at the Shire Office.

Agenda items submitted to Council will include a recommendation for Council consideration. Electors should not interpret and/or act on the recommendations until after they have been considered by Council. Please note the Disclaimer in the Agenda (page 2).

Public Inspection of Unconfirmed Minutes (Regulation 13).

A copy of the unconfirmed Minutes of Ordinary and Special Meetings will be available for public inspection from the Shire of Wandering Office and the Shire of Wandering website within ten (10) working days after the Meeting.

Alan Hart
Chief Executive Officer

SHIRE OF WANDERING

Agenda for the Ordinary Meeting of Council to be held in the Council Chambers on Thursday 21 September 2023 – commencing at 2.30pm.

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1. Declaration of Opening / Announcements of Visitors

The Presiding Member to declare the meeting open.

2. Attendance / Apologies / Approved Leave of Absence

Councillors

Cr Ian Turton (Shire President)
Cr Paul Treasure (Deputy Shire President)
Cr Graeme Parsons
Cr Max Watts
Cr Gillian Hansen

Staff

Alan Hart (Chief Executive Officer)
Karl Mickle (Operations Manager)

Apologies

Cr Sheryl Little

**020623 Moved Cr Watts Seconded Cr Hansen
that Council approve the following leaves of absence:**

**Cr Watts – July Council Meetings
Cr Hansen – August Council Meetings
Cr Little – September Council Meetings**

Carried 5/0

Members of the Public

3. Announcements by the Presiding Member

4. Response to Previous Public Questions Taken on Notice

Nil.

5. Public Question Time

6. Petitions / Deputations / Presentations / Submissions

Nil.

7. Applications for Leave of Absence

8. Disclosures of Interest

9. Confirmation of Minutes of Previous Meetings Held

9.1 Ordinary Council Meeting Minutes – 17 August 2023

Statutory Environment:

Section 5.22 of the *Local Government Act* provides that minutes of all meeting to be kept and submitted to the next ordinary meeting of the Council or the committee, as the case requires, for confirmation.

Voting Requirements:

Simple Majority

Recommendation:

That the Minutes of the Ordinary Meeting of Council held on 17 August 2023 be confirmed as true and correct with the following amendment to Item 14.2 Development Application Lot 12 Albany Highway, Bannister:

Condition no 4 “Prior to the commencement of the use, the applicant is to submit a Bushfire Management Plan to the satisfaction of the Shire and in accordance with the provisions of State Planning Policy 3.7, prior to commencement of the use” to be deleted. This is due to correspondence received from Preplan Consulting advising that a Bushfire Management Plan is not required.

Moved: _____

Seconded: _____

Carried

For/Against: Cr Turton Cr Treasure Cr Hansen Cr Little Cr Parsons Cr Watts

10. Reports of Committees of Council

10.1 Wandering Community Centre Upgrade- Quotes for Business Case and Grant Application

File Reference:	11.111.11101
Location:	Down Street, Wandering
Applicant:	N/A
Author:	Alan Hart, Chief Executive Officer
Authorising Officer	Alan Hart, Chief Executive Officer
Date:	1 September 2023
Disclosure of Interest:	Nil
Confidential Attachments:	Quotations from Grants Empire and Whitney Consulting
Previous Reference:	N/A

Summary:

For the committee to recommend to Council to engage a contractor to prepare a business case and grant application for Lotterywest to seek grant funding to assist in funding the upgrade of the Wandering Community Centre.

Background:

The Wandering Community Centre is the hub for the Wandering community and has been identified as a building that needs to be upgraded to ensure that community expectations of a modern facility are addressed and the building is fit for purpose going into the future.

A working group of various Community Members has been working with Council Representatives and an Architect to develop a design that meets the above objectives and it is now time to progress this further to the next stage

Comment:

The funding requirements to upgrade the Wandering Community Centre to-date has been limited to LRCIP funding from the Federal Government. As the project progresses, other funding sources need to be identified and then applied for. To do this a business case for the project needs to be prepared which justifies why the upgrade is needed. The business case looks at various aspects of the project including the need to upgrade the building, the future use of the building, the economic viability of the project and the benefits to the community and other future users of the building.

The business case will be used to seek funding from several sources including Newmont Mining, South 32, Lotterywest and Department of Sport and Recreation.

In the first instance, a Lotterywest grant application will be submitted and it is likely that this will be to upgrade the ablution facilities to incorporate universal access facilities.

The Shire has received two quotations to undertake this work and they are as follows:

- Whitney Consulting
- Grants Empire

The confidential quotations are attached.

Consultation:

Not applicable

Statutory Environment:

Not applicable

Policy Implications:

Not applicable

Financial Implications:

The total budget for this project has increased to \$549,000. Expenditure to-date totals \$49,000.

Strategic Implications:

PROVIDE STRONG LEADERSHIP

Our Goals	Our Strategies
A well informed Community	Foster Opportunities for connectivity between Council and the Community
We plan for the future and are strategically focused	Ensure accountable, ethical and best practice governance

Sustainability Implications:

- Environmental: There are no known significant environmental considerations.
- Economic: There are no known significant economic considerations.
- Social: There are no known significant social considerations

Risk Implications:

Nil

Voting Requirements:

Simple Majority

020923 Moved: M Watts Seconded: S Little

Recommendation and Committee Decision:

That the Committee recommend to Council that the Quotation from Grants Empire be accepted to prepare the Business Case and Lotterywest Grant Application for the Wandering Community Centre Upgrade.

Carried 4/0

For: B Whitely, Cr S Little, Cr M Watts, Cr G Hansen

Against: Nil

Council Recommendation:

That Council accept the Quotation from Grants Empire to prepare the Business Case and Lotterywest Grant Application for the Wandering Community Centre Upgrade.

For/Against: Cr Turton Cr Treasure Cr Hansen Cr Little Cr Parsons Cr Watts

11. Reports from Councillors

Cr Ian Turton (President)

Cr Paul Treasure (Deputy President)

Cr Graeme Parsons

Cr Max Watts

Cr Gillian Hansen

Cr Sheryl Little

12. Chief Executive Officer

12.1 Shire of Wandering Policy Manual Review

File Reference:	11.111.11101
Author:	Lisa Boddy, Customer Service Coordinator
Authorising Officer	Alan Hart, Chief Executive Officer
Date:	10 August 2023
Disclosure of Interest:	Nil
Attachments:	Policy 52 - Fence Line Clearing Within Road and Other Reserves Policy 53 - Guidelines for Plantation Fire Protection Policy 55 - Refilling at Standpipes Policy 73 – Rating (old and proposed new policies attached)
Previous Reference:	Item 12.1 Ordinary Council Meeting 17 August 2023

Summary:

To continue with the process of reviewing all Council policies to ensure they are still relevant and correct for the day to day workings of the Shire.

Background:

At the Ordinary Council Meeting held on 18 August 2022 Council resolved to adopt Policy 83 – Policy Manual which states that:

All policies within the Policy Manual are to be reviewed by Council every three years, being one third of Council's policies each year in a three year period. Council may review an individual policy at any time before the next review date if it determines it to be necessary.

As there are currently 90 policies of the Shire it is proposed that each month several policies are reviewed by Council, this will ensure that all policies are reviewed in the stated three year period.

Comment:

Four policies are to be reviewed this month:

- Policy 52 – Fence Line Clearing Within Road and Other Reserves
- Policy 53 – Guidelines for Plantation Fire Protection
- Policy 55 – Refilling at Standpipes
- Policy 73 - Rating

These policies were presented to the General Planning Forum on 27 August 2023. Changes were made as indicated in the attachments.

Consultation:

Chief Executive Officer
Elected Members

Statutory Environment:

Local Government Act 1995 S.2.7(2)(b)

Policy Implications:

As reviewed.

Financial Implications:

Nil.

**Strategic Implications:
Provide Strong Leadership**

Our Goals	Our Strategies
A well informed Community	Foster Opportunities for connectivity between Council and the Community
We plan for the future and are strategically focused	Ensure accountable, ethical and best practice governance Service Level Plans detail operational roles, responsibilities and resources.

Sustainability Implications:

- Environmental: There are no known significant environmental considerations.
- Economic: There are no known significant economic considerations.
- Social: There are no known significant social considerations.

Risk Implications:

Not regularly updating the Shire’s Policy manual poses a reputable risk with a medium risk rating. In order to maintain transparency and to facilitate appropriate decision making processes, it is imperative that policy statements reflect the current position of Council and work practices at the Shire as well as best practice approaches.

Voting Requirements:

Simple Majority

Officer Recommendation:

That Council adopts the following policies with any amendments made.

- **Policy 52 – Fence Line Clearing Within Road and Other Reserves**
- **Policy 53 – Guidelines for Plantation Fire Protection**
- **Policy 55 – Refilling at Standpipes**
- **Policy 73 - Rating**

Moved: _____

Seconded: _____

Carried

For/Against: Cr Turton Cr Treasure Cr Hansen Cr Little Cr Parsons Cr Watts

POLICY TYPE:	COMMUNITY
DATE ADOPTED:	18/07/2019

POLICY NO:	52
DATE LAST REVIEWED:	17/09/2020 16/09/2021

LEGAL (PARENT):	<i>Environmental Protection Act 1986</i>
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LEGAL (SUBSIDIARY):	<i>Environmental Protection (Clearing of Native Vegetation) Regulations 2004</i>
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DELEGATION OF AUTHORITY APPLICABLE:	Yes
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DELEGATION NO.	52
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ADOPTED POLICY	
TITLE:	Fence Line Clearing within Road and other Reserves
OBJECTIVE:	<ul style="list-style-type: none"> To define the Shire's Policy on fence line clearing within Road and other Reserves

POLICY STATEMENT

Shire approval is required for all fence line clearing that involves the clearing of native vegetation on Crown land, including road reserves, under the care and control of the Shire. Any approval granted may be subject to the following:

- (a) The clearing is done in such a way as to limit damage to adjoining or nearby native vegetation;
- (b) All material resulting from the clearing removed from the reserve be placed in the landholder's ~~property at the landowner's direction; provided it is not placed in a heap or windrow on uncleared vegetation;~~
- (c) Fences are replaced on any reserve boundary at the cost of the landholder; and
- ~~(d) Landholders are actively encouraged to exclude stock from unused road reserves that contain remnant vegetation, that traverse their properties.~~

Note: The landholder must comply with all other Acts and Regulations in force from time to time with regard to land clearing

POLICY TYPE:	COMMUNITY
DATE ADOPTED:	18/07/2019

POLICY NO:	53
DATE LAST REVIEWED:	17/09/2020 16/09/2021

LEGAL (PARENT):	<i>Local Government Act 1995</i>
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LEGAL (SUBSIDIARY):	
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DELEGATION OF AUTHORITY APPLICABLE:	
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DELEGATION NO.	
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ADOPTED POLICY	
TITLE:	Guidelines for Plantation Fire Protection
OBJECTIVE:	<ul style="list-style-type: none"> To <u>provide for</u> consistency for landholders developing plantations

DEFINITIONS

Plantation – means any area of planted trees for the purpose of future harvest, other than a windbreak, within gazetted town sites exceeding 1ha and elsewhere exceeding 40 hectares.

POLICY STATEMENT

The Shire of Wandering adopts the Department of Fire & Emergency Services “Guidelines for Plantation Fire Protection” and applies the definition shown above.

POLICY TYPE:	COMMUNITY
DATE ADOPTED:	18/07/2019

POLICY NO:	55
DATE LAST REVIEWED:	17/09/2020 16/09/2021

LEGAL (PARENT):	<i>Local Government Act 1995</i>
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LEGAL (SUBSIDIARY):	
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DELEGATION OF AUTHORITY APPLICABLE:	
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DELEGATION NO.	
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ADOPTED POLICY	
TITLE:	Refilling at Standpipes
OBJECTIVE:	<ul style="list-style-type: none"> • To control contamination from chemicals at standpipe • <u>To prevent any contamination of potable water</u>

POLICY STATEMENT

~~In order to prevent any chemical contamination, boom sprays are not permitted to be filled at any Shire potable water standpipes.~~

Vehicles with any chemical contaminants or remnants onboard are not permitted to be filled at any Shire potable water standpipes.

POLICY TYPE:	LEGISLATIVE
DATE ADOPTED:	16/07/2020

POLICY NO:	73
DATE LAST REVIEWED:	17/09/2020 16/09/2021

LEGAL (PARENT):	<i>Local Government Act 1995</i>
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LEGAL (SUBSIDIARY):	<i>Local Government (Financial Management) Regulations 1996</i>
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DELEGATION OF AUTHORITY APPLICABLE:	No
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DELEGATION NO.	
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ADOPTED POLICY	
TITLE:	Rating Policy
OBJECTIVE:	<ul style="list-style-type: none"> To Provide a framework and guidance to assist with the classification of properties (based on a combination of the properties Town Planning zone and predominate land use) into the most appropriate valuation category (UV or GRV); and Guide staff in the level and method of community consultation to be undertaken in the circumstances of a change of valuation category applied to properties within the District.

DEFINITIONS

GRV – Gross Rental Value

UV – Unimproved Value

POLICY STATEMENT

That Council applies the following principles to each rating category:

Residential Category:

- (a) That no differential rate in the dollar applies to properties zones “Residential – Gross Rental Values”.

Rural Residential Category:

- (a) That the rate in the dollar applying to years 2021/2022 and 2022/2023 to properties zoned “Rural Residential – Gross Rental Values”, be considered to minimise the impact of the change to the valuation method of rating for these lots. This may mean the imposition of a differential rate in the dollar.

Rural Category:

- (a) That no differential rate in the dollar applies to properties zoned “Rural – Unimproved Values”.

Mining Tenement Category:

- (b) That Mining Tenements unimproved value rate in the dollar not be differentiated to that of “Rural – Unimproved Values”.

INTRODUCTION

- Local governments impose rates on the properties within their district to raise revenue to fund the services and facilities provided to residents and visitors.
- The quantum of rates payable is determined by three factors: the method of valuation of the land, the valuation of the land and improvements, and the rate in the dollar applied to that valuation by the local government.
- Land is rated according to its unimproved value for land used predominantly for rural purposes or gross rental value for land used predominantly for non-rural purposes.
- The Valuer General values the land in accordance with the provisions of the Valuation of Land Act 1978. The local government sets a rate in the dollar which is applied to this valuation to give the rates liability for each property.

5. A local government may impose a single general rate which applies to all of the properties in the unimproved value or gross rental value category. Alternatively the local government can distinguish between land in either category on the basis of its zoning, use or whether it is vacant land (or other characteristic set out in regulations), or a combination of these factors, and apply a differential general rate to each.
6. The purpose of the imposition of a differential general rate is generally to ensure that every landowner makes a reasonable contribution to the rate burden.

POLICY TYPE:	LEGISLATIVE
DATE ADOPTED:	16/07/2020

POLICY NO:	73
DATE LAST REVIEWED:	17/09/2020 16/09/2021

LEGAL (PARENT):	<i>Local Government Act 1995</i>
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LEGAL (SUBSIDIARY):	<i>Local Government (Financial Management) Regulations 1996</i>
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DELEGATION OF AUTHORITY APPLICABLE:	No
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DELEGATION NO.	
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ADOPTED POLICY

TITLE:	Rating Policy
OBJECTIVE:	<ul style="list-style-type: none"> • To Implement a clear policy on rating within the Shire of Wandering that is: <ul style="list-style-type: none"> ○ Easy to understand ○ Administratively efficient to implement ○ Delivers an equitable rating treatment between like uses.

INTRODUCTION

Local Governments impose rates on properties within their district to raise rate revenue to fund services and facilities provided to residents and visitors to the Shire.

DEFINITIONS

GRV – Gross Rental Value

UV - Unimproved Value

Predominate Use – Primary use of a property to which all other uses are incidental.

POLICY

A property will be rated based on the predominate “use” of a property

Where the predominate use is rural or Mining, the basis of rating will be Unimproved Value (UV)

Where the predominate use is non-rural, the basis of the rating will be Gross Rental Value (GRV)

The following rating categories are used within the Shire of Wandering and their predominate use is defined as;

Rating Category	Predominate Use
Residential	Home Occupation, non-rural use
Rural Residential	Home Occupation, non-rural use
Industrial	Commercial activity, non-rural use
Special Use	Commercial or retail activity, non-rural use
Rural	Farming activity, rural use
Mining Tenement	Mining activity, mining use

Differential Rating

The Council does not support differential rating and from the 2024/25 year, differential rating will not be used as a method of raising rates in the Shire.

New subdivisions

When a property is subdivided, consideration must be given to the predominant use of the property after subdivision and on creation of the titles

Where the predominate use changes, application must be made to the minister in accordance with 6.28 to determine the valuation method.

Vacant Land

The predominate use of vacant land is to be considered if the land was developed.

Rate Exemptions

Council will only consider a request for a rate exemption if section 6.26 of the Local Government Act (1985) as amended can be satisfied.

12.2 Wandering Community Centre Upgrade – Appointment of a Volunteer Project Manager

File Reference:	11.111.11101
Author:	Lisa Boddy, Customer Service Coordinator
Authorising Officer	Alan Hart, Chief Executive Officer
Date:	8 September 2023
Disclosure of Interest:	Nil
Attachments:	Nil
Previous Reference:	Item 10.3 Ordinary Council Meeting 20 July 2023

Summary:

To recommend to Council the appointment of a Volunteer Project Manager.

Background:

At the Ordinary Council Meeting held on 20 July 2023 Council resolved the following:

That the committee recommend to Council to engage a Project Manager to oversee the construction of Stage 1 and 2 of the Wandering Community Centre Upgrade due to the tight timeframe of the conditions of the grant.

Carried 5/0

At the Wandering Community Centre Upgrade Committee Meeting held on 12 July 2023 it was decided to recommend to Council to engage a Project Manager to oversee the construction of Stages 1 and 2 of the Wandering Community Centre Upgrade due to the tight timeframe of the conditions of the grant.

Comment:

A local resident, Mr Lou Cowan, expressed his interest in undertaking this role on a volunteer basis and met with the Committee and CEO to discuss this further.

Consultation:

Chief Executive Officer
Elected Members
Mr Lou Cowan

Statutory Environment:

Local Government Act 1995 S.2.7(2)(b)

Policy Implications:

Nil.

Financial Implications:

Nil.

Strategic Implications:

Provide Strong Leadership

Our Goals	Our Strategies
A well informed Community	Foster Opportunities for connectivity between Council and the Community
We plan for the future and are strategically focused	Ensure accountable, ethical and best practice governance Service Level Plans detail operational roles, responsibilities and resources.

Retain and Grow our Population

Our Goals	Our Strategies
People feel safe, connected and actively involved in the community	Facilitate and support activities that optimise use of our facilities.

Sustainability Implications:

- Environmental: There are no known significant environmental considerations.
- Economic: There are no known significant economic considerations.
- Social: There are no known significant social considerations.

Risk Implications:

Not engaging a Project Manager puts this project at risk of stages not being completed by the due dates to be eligible for grants, therefore the Shire would have to forfeit these monies.

Voting Requirements:

Simple Majority

Officer Recommendation:

That Council approves the appointment of Mr Robert (Lou) Cowan as a Project Manager for the Shire of Wandering Community Centre Upgrade Stages 1 and 2, on a volunteer basis, commencing on 1 September 2023.

Moved: _____

Seconded: _____

Carried

For/Against: Cr Turton Cr Treasure Cr Hansen Cr Little Cr Parsons Cr Watts

13. Finance

13.1 Financial Reports – August 2023

File Reference:	N/A
Location:	N/A
Applicant:	N/A
Author:	Bob Waddell
Authorising Officer	Alan Hart– Chief Executive Officer
Date:	8 September 2023
Disclosure of Interest:	N/A
Attachments:	August 2023 Financial Statements
Previous Reference:	Nil

Summary:

Consideration of the financial reports for the period ending 31 August 2023.

Background:

The financial reports for the periods ending 31 August 2023 are included as attachments.

Comment:

If you have any questions regarding details in the financial reports, please contact the office prior to the Council meeting so that sufficient time is given to research the request. This will enable the information to be provided at the Council meeting.

Consultation:

Not applicable.

Statutory Environment:

Section 34 (1) (a) of the *Local Government (Financial Management) Regulations 1996* states that a Local Government is to prepare monthly statement of financial activity including annual budget estimates, monthly budget estimates, actual monthly expenditure, revenue and income, material variances between monthly budget and actual figures and net current assets on a monthly basis.

Policy Implications:

Not applicable.

Financial Implications:

Not applicable.

Strategic Implications:

Improve Our Financial Position

Our Goals	Our Strategies
The Wandering Shire is financially sustainable	<ul style="list-style-type: none"> • Improve accountability and transparency • Develop an investment strategy that plans for the future and provides cash backed reserves to meet operational needs • Prudently manage our financial resources to ensure value for money • Reduce reliance on operational grants

Sustainability Implications:

- Environmental: There are no known significant environmental considerations.
- Economic: There are no known significant economic considerations.
- Social: There are no known significant social considerations.

Risk Implications:

Nil

Voting Requirements:

Simple Majority

Officer Recommendation:

That the financial report for the period ending 31 August 2023 as presented be accepted.

Moved: _____

Seconded: _____

Carried

For/Against: Cr Turton Cr Treasure Cr Hansen Cr Little Cr Parsons Cr Watts



SHIRE OF WANDERING

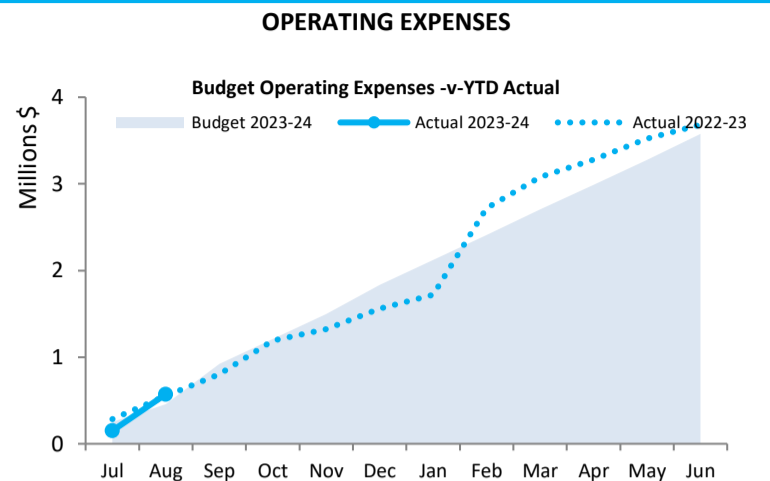
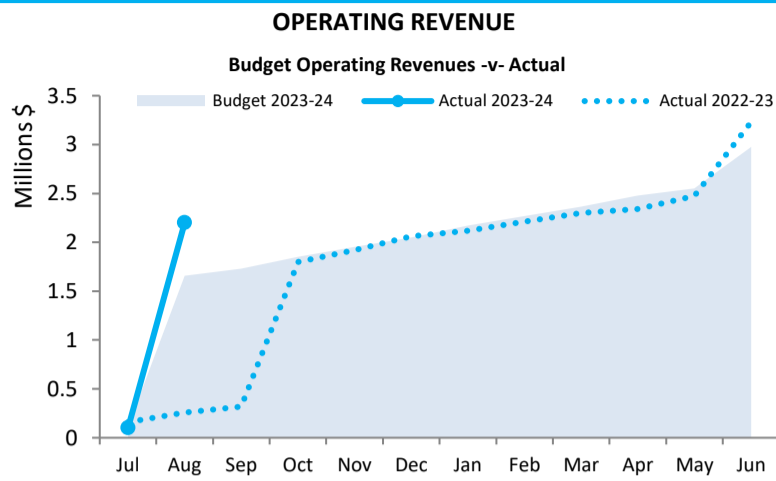
MONTHLY FINANCIAL REPORT (Containing the Statement of Financial Activity) FOR THE PERIOD ENDED 31 AUGUST 2023

***LOCAL GOVERNMENT ACT 1995
LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996***

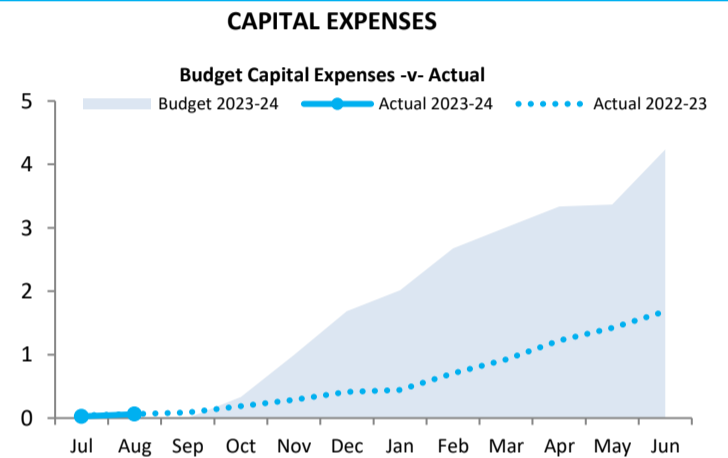
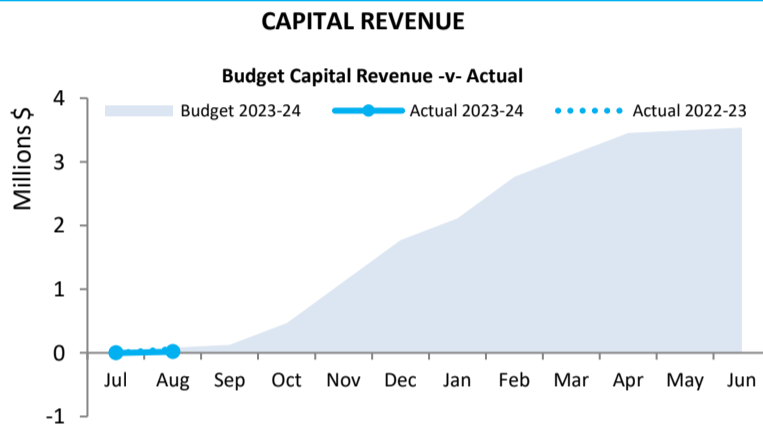
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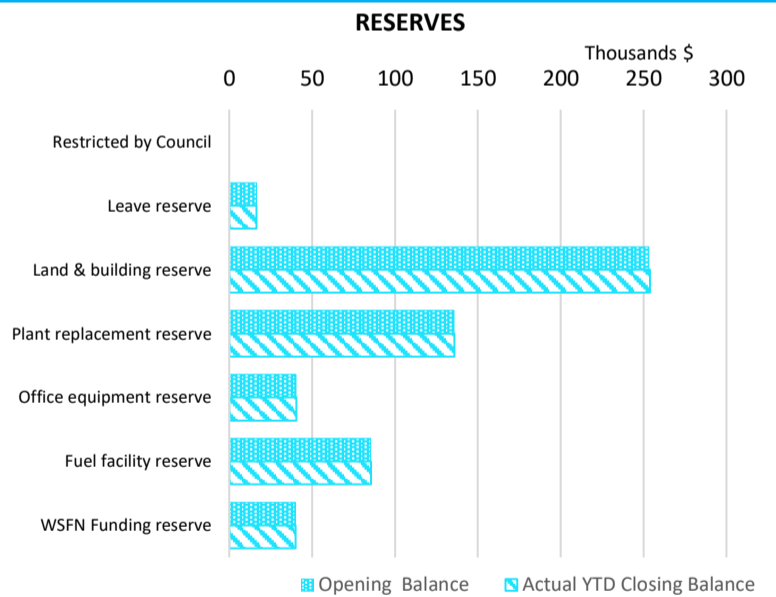
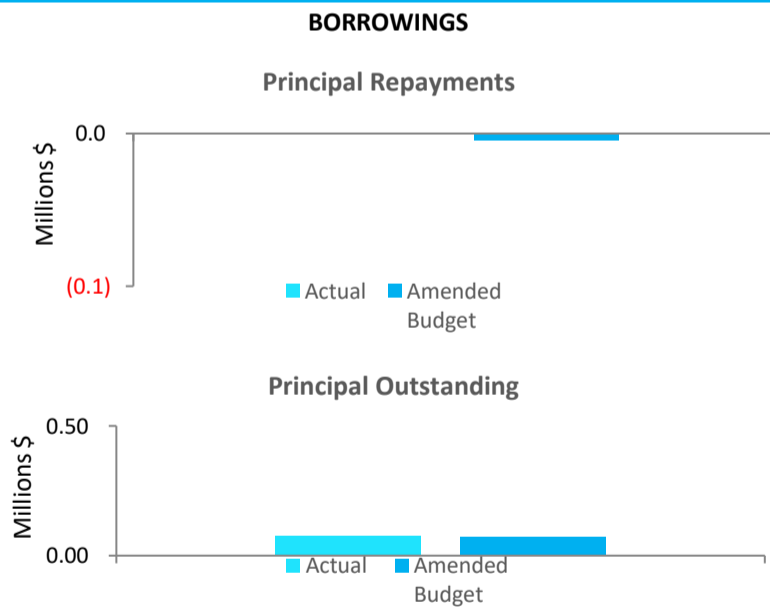
OPERATING ACTIVITIES



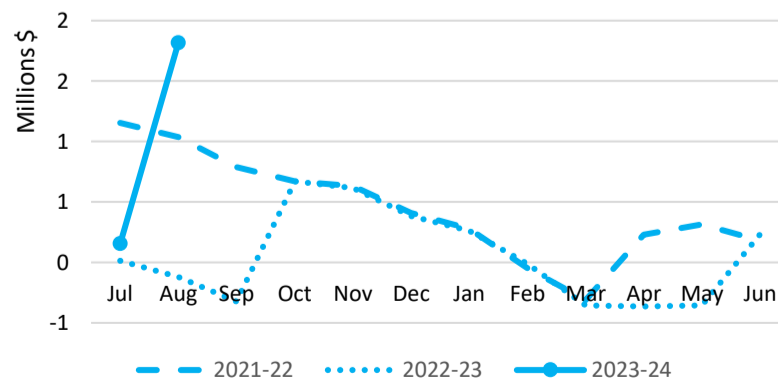
INVESTING ACTIVITIES



FINANCING ACTIVITIES



Closing funding surplus / (deficit)



This information is to be read in conjunction with the accompanying Financial Statements and Notes.

STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2023

BY NATURE

	Ref	Adopted Budget	Amended Budget	YTD Budget	YTD Actual	Variance \$	Variance %	Var.
	Note	(a)	(b)	(b)	(c)	(c) - (b)	((c) - (b))/(b)	
		\$	\$	\$	\$	\$	%	
OPERATING ACTIVITIES								
Revenue from operating activities								
Rates		1,463,898	1,463,898	1,463,898	1,500,183	36,285	2.48%	
Operating grants, subsidies and contributions	10	270,000	270,000	37,957	502,045	464,088	1222.67%	▲
Fees and charges		834,770	834,770	143,838	164,291	20,453	14.22%	▲
Interest earnings		15,200	15,200	2,532	1,932	(600)	(23.69%)	
Other revenue		391,121	391,121	7,118	31,346	24,228	340.38%	▲
		2,974,989	2,974,989	1,655,343	2,199,797	544,454	32.89%	
Expenditure from operating activities								
Employee costs		(1,103,394)	(1,103,394)	(183,806)	(245,978)	(62,172)	(33.82%)	▼
Materials and contracts		(1,242,492)	(1,242,492)	(211,144)	(252,699)	(41,555)	(19.68%)	▼
Utility charges		(41,200)	(41,200)	(6,848)	(7,332)	(484)	(7.06%)	
Depreciation on non-current assets		(1,047,948)	(1,047,948)	(6,602)	0	6,602	100.00%	
Interest expenses		(3,302)	(3,302)	(550)	0	550	100.00%	
Insurance expenses		(104,971)	(104,971)	(47,459)	(65,364)	(17,905)	(37.73%)	▼
Other expenditure		(32,500)	(32,500)	(500)	(1,233)	(733)	(146.67%)	
		(3,575,807)	(3,575,807)	(456,909)	(572,606)	(115,697)	25.32%	
Non-cash amounts excluded from operating activities	1(a)	1,053,077	1,053,077	11,731	39	(11,692)	(99.67%)	▼
Amount attributable to operating activities		452,259	452,259	1,210,165	1,627,230	417,065	34.46%	
INVESTING ACTIVITIES								
Inflows from investing activities								
Proceeds from capital grants, subsidies and contributions	11	3,535,296	3,535,296	81,730	16,202	(65,528)	(80.18%)	▼
		3,535,296	3,535,296	81,730	16,202	(65,528)	(80.18%)	
Outflows from investing activities								
Payments for inventories, property, plant and equipment and infrastructure	6	(3,855,368)	(3,855,368)	0	(60,233)	(60,233)	0.00%	▼
		(3,855,368)	(3,855,368)	0	(60,233)	(60,233)	0.00%	
Amount attributable to investing activities		(320,072)	(320,072)	81,730	(44,031)	(125,761)	(153.87%)	
FINANCING ACTIVITIES								
Inflows from financing activities								
		0	0	0	0			
Outflows from financing activities								
Repayment of borrowings	7	(4,570)	(4,570)	0	0	0	0.00%	
Transfer to reserves	8	(373,878)	(373,878)	0	(1,257)	(1,257)	0.00%	
		(378,448)	(378,448)	0	(1,257)	(1,257)	0.00%	
Amount attributable to financing activities		(378,448)	(378,448)	0	(1,257)	(1,257)	0.00%	
MOVEMENT IN SURPLUS OR DEFICIT								
Surplus or deficit at the start of the financial year	1(c)	246,261	234,275	234,275	234,275	0	0.00%	
Amount attributable to operating activities		452,259	452,259	1,210,165	1,627,230	417,065	34.46%	▲
Amount attributable to investing activities		(320,072)	(320,072)	81,730	(44,031)	(125,761)	(153.87%)	▼
Amount attributable to financing activities		(378,448)	(378,448)	0	(1,257)	(1,257)	0.00%	
Surplus or deficit at the end of the financial year	1(c)	(0)	(11,986)	1,526,170	1,816,218	290,047	(19.00%)	▲

KEY INFORMATION

▲ ▼ Indicates a variance between Year to Date (YTD) Budget and YTD Actual data as per the adopted materiality threshold.

Refer to Note 2 for an explanation of the reasons for the variance.

This statement is to be read in conjunction with the accompanying Financial Statements and Notes.

STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2023

BY PROGRAM

	Note	Adopted Annual Budget	Amended Annual Budget (d)	Amended YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)	Var. % (b)-(a)/(a)	Var. ▲▼	Significant Var. \$
		\$	\$	\$	\$	\$	%		
OPERATING ACTIVITIES									
Revenue from operating activities									
Governance		3,500	3,500	582	0	(582)	(100.00%)	▼	
General Purpose Funding - Rates	6	1,463,898	1,463,898	1,463,898	1,500,183	36,285	2.48%	▲	
General Purpose Funding - Other		22,200	22,200	3,696	404,805	401,109	10852.51%	▲	\$
Law, Order and Public Safety		46,250	46,250	14,329	5,846	(8,483)	(59.20%)	▼	
Health		2,500	2,500	2,082	0	(2,082)	(100.00%)	▼	
Education and Welfare		0	0	0	0	0			
Housing		38,480	38,480	6,412	6,577	165	2.58%	▲	
Community Amenities		58,500	58,500	9,742	45,026	(35,284)	(362.18%)	▼	\$
Recreation and Culture		2,420	2,420	400	853	453	113.30%	▲	
Transport		116,500	116,500	0	71,619	(44,881)	(38.53%)	▼	\$
Economic Services		818,120	818,120	145,166	128,855	(46,265)	(11.24%)	▼	\$
Other Property and Services		402,621	402,621	9,036	36,033	(366,588)	(90.78%)	▼	\$
		2,974,989	2,974,989	1,655,343	2,199,797	(775,192)	(26.06%)	▼	
Expenditure from operating activities									
Governance		(216,291)	(216,291)	(38,061)	(54,555)	(16,494)	(43.34%)	▼	\$
General Purpose Funding		(100,024)	(100,024)	(16,666)	(13,944)	2,722	16.33%	▲	
Law, Order and Public Safety		(118,341)	(118,341)	(16,463)	(13,753)	2,710	16.46%	▲	
Health		(18,649)	(18,649)	(3,102)	(3,687)	(585)	(18.86%)	▼	
Education and Welfare		(6,234)	(6,234)	(1,034)	(1,346)	(312)	(30.16%)	▼	
Housing		(49,921)	(49,921)	(8,284)	(6,936)	1,348	16.27%	▲	
Community Amenities		(233,767)	(233,767)	(39,641)	(38,174)	1,467	3.70%	▲	
Recreation and Culture		(254,102)	(254,102)	(36,573)	(29,761)	6,812	18.62%	▲	
Transport		(1,585,714)	(1,585,714)	(146,830)	(249,062)	(102,232)	(69.63%)	▼	\$
Economic Services		(972,474)	(972,474)	(160,748)	(162,331)	(1,583)	(0.98%)	▼	
Other Property and Services		(20,290)	(20,290)	10,493	943	(9,550)	(91.02%)	▼	
		(3,575,807)	(3,575,807)	(456,909)	(572,606)	(115,707)	(12.50%)	▼	
Non-cash amounts excluded from operating activities	1(a)	1,053,077	1,053,077	11,731	39	(11,692)	(99.67%)	▼	
Amount attributable to operating activities		452,259	452,259	1,210,165	1,627,230	417,065	34.46%		
INVESTING ACTIVITIES									
Inflows from investing activities									
Proceeds from capital grants, subsidies and contributions	11	3,535,296	3,535,296	81,730	16,202	(65,528)	(80.18%)	▼	\$
Proceeds from Disposal of Assets	5	0	0	0	0	0			
		3,535,296	3,535,296	81,730	16,202				
Outflows from investing activities									
Payments for inventories, property, plant and equipment and infrastructure	6	(3,855,368)	(3,855,368)	0	(60,233)	(60,233)		▼	\$
		(3,855,368)	(3,855,368)	0	(60,233)				
Amount attributable to investing activities		(320,072)	(320,072)	81,730	(44,031)				
FINANCING ACTIVITIES									
Inflows from financing activities									
Proceeds from New Debentures	7	0	0	0	0	0			
Transfer from Reserves	8	0	0	0	0	0			
		0	0	0	0				
Outflows from financing activities									
Payments for principal portion of lease liabilities	7	0	0	0	0	0			
Repayment of Debentures	7	(4,570)	(4,570)	0	0	0			
Transfer to Reserves	8	(373,878)	(373,878)	0	(1,257)	(1,257)		▼	
		(378,448)	(378,448)	0	(1,257)				
Amount attributable to financing activities		(378,448)	(378,448)	0	(1,257)				
MOVEMENT IN SURPLUS OR DEFICIT									
Surplus or deficit at the start of the financial year	1	246,261	234,275	234,275	234,275	0	0.00%		
Amount attributable to operating activities		452,259	452,259	1,210,165	1,627,230				
Amount attributable to investing activities		(320,072)	(320,072)	81,730	(44,031)				
Amount attributable to financing activities		(378,448)	(378,448)	0	(1,257)				
Surplus or deficit at the end of the financial year	1	(0)	(11,986)	1,526,170	1,816,218				

KEY INFORMATION

▲ ▼ Indicates a variance between Year to Date (YTD) Budget and YTD Actual data as per the adopted materiality threshold.

This statement is to be read in conjunction with the accompanying Financial Statements and notes.

SHIRE OF WANDERING
STATEMENT OF FINANCIAL POSITION
FOR THE PERIOD ENDED 31 AUGUST 2023

	30 June 2023	31 August 2023
	\$	\$
CURRENT ASSETS		
Cash and cash equivalents	1,340,931	1,372,861
Trade and other receivables	238,418	1,686,463
Other financial assets	0	0
Inventories	35,951	7,693
Contract assets	0	0
Other assets	12,867	18,174
Assets classified as held for sale	0	0
TOTAL CURRENT ASSETS	1,628,167	3,085,192
NON-CURRENT ASSETS		
Trade and other receivables	7,911	7,911
Other financial assets	20,372	20,372
Inventories	0	86,300
Investment in associate	0	0
Property, plant and equipment	7,562,666	7,490,480
Infrastructure	87,522,847	87,568,966
Right-of-use assets	0	0
Investment property	0	0
Intangible assets	0	0
TOTAL NON-CURRENT ASSETS	95,113,796	95,174,029
TOTAL ASSETS	96,741,963	98,259,221
CURRENT LIABILITIES		
Trade and other payables	272,686	157,207
Other liabilities	425,101	414,446
Lease liabilities	0	0
Borrowings	4,570	4,570
Employee related provisions	141,662	141,662
Other provisions	0	0
TOTAL CURRENT LIABILITIES	844,019	717,884
NON-CURRENT LIABILITIES		
Other liabilities	0	0
Lease liabilities	0	0
Borrowings	70,972	70,972
Employee related provisions	34,659	34,659
Other provisions	0	0
TOTAL NON-CURRENT LIABILITIES	105,631	105,631
TOTAL LIABILITIES	949,651	823,516
NET ASSETS	95,792,313	97,435,705
EQUITY		
Retained surplus	21,129,402	22,771,538
Reserve accounts	570,806	572,063
Revaluation surplus	74,092,104	74,092,104
TOTAL EQUITY	95,792,313	97,435,705

This statement is to be read in conjunction with the accompanying notes.

(a) Non-cash items excluded from operating activities

The following non-cash revenue and expenditure has been excluded from operating activities within the Statement of Financial Activity in accordance with *Financial Management Regulation 32*.

	Notes	Adopted Budget	Amended Budget	YTD Budget (a)	YTD Actual (b)
Non-cash items excluded from operating activities					
		\$	\$	\$	\$
Adjustments to operating activities					
Less: Movement in liabilities associated with restricted cash		5,129	5,129	5,129	39
Add: Depreciation on assets		1,047,948	1,047,948	6,602	0
Total non-cash items excluded from operating activities		1,053,077	1,053,077	11,731	39

(b) Adjustments to net current assets in the Statement of Financial Activity

The following current assets and liabilities have been excluded from the net current assets used in the Statement of Financial Activity in accordance with *Financial Management Regulation 32* to agree to the surplus/(deficit) after imposition of general rates.

		Adopted Budget Opening 30 June 2023	Amended Budget Opening 30 June 2023	Last Year Closing 30 June 2023	Year to Date 31 August 2023
Adjustments to net current assets					
Less: Reserves - restricted cash	8	(570,806)	(570,806)	(570,806)	(572,063)
Add: Borrowings	7	0	4,570	4,570	4,570
Add: Current portion of employee benefit provisions held in reserve		16,365	16,365	16,365	16,403
Total adjustments to net current assets		(554,441)	(549,872)	(549,872)	(551,090)

(c) Net current assets used in the Statement of Financial Activity

Current assets					
Cash and cash equivalents	3	1,336,298	1,340,931	1,340,931	1,372,861
Rates receivables	4	44,780	37,613	37,613	1,542,340
Receivables	4	176,014	200,804	200,804	144,123
Other current assets	5	35,951	48,818	48,818	25,868
Less: Current liabilities					
Payables	6	(279,329)	(272,686)	(272,686)	(157,207)
Borrowings	7	0	(4,570)	(4,570)	(4,570)
Contract and Capital Grant/Contribution liabilities	9	(425,512)	(425,101)	(425,101)	(414,446)
Provisions	9	(87,500)	(141,662)	(141,662)	(141,662)
Less: Total adjustments to net current assets	1(b)	(554,441)	(549,872)	(549,872)	(551,090)
Closing funding surplus / (deficit)		246,261	234,275	234,275	1,816,218

CURRENT AND NON-CURRENT CLASSIFICATION

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. Unless otherwise stated assets or liabilities are classified as current if expected to be settled within the next 12 months, being the Council's operational cycle.

NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD ENDED 31 AUGUST 2023

NOTE 1

STATEMENT OF FINANCIAL ACTIVITY INFORMATION (ALTERNATE PRESENTATION)

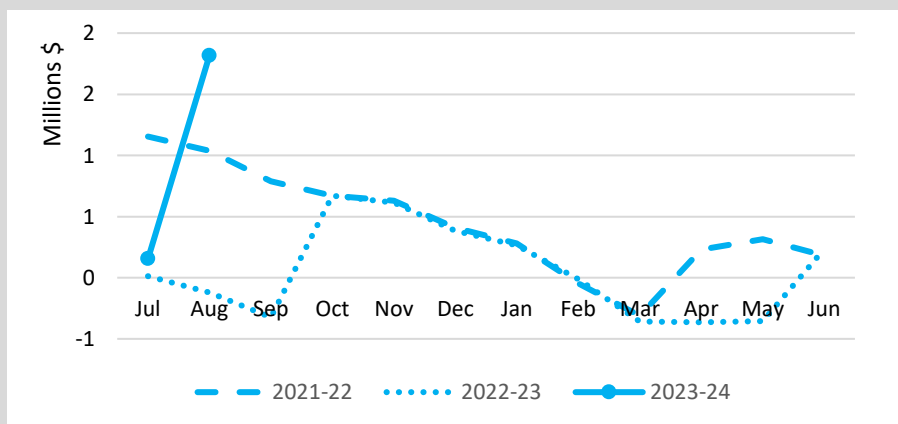
Adjusted Net Current Assets	Note	Last Years Closing 30/06/2023	This Time Last Year 31/08/2022	Year to Date Actual 31/08/2023
		\$	\$	\$
Current Assets				
Cash Unrestricted	3	770,124	103,056	800,798
Cash Restricted - Reserves	3	570,806	534,377	572,063
Cash Restricted - Bonds & Deposits	3	0	0	0
Receivables - Rates	4	37,613	51,205	1,542,340
Receivables - Other	4	195,773	418,457	139,092
Other Assets Other Than Inventories	5	17,898	0	23,205
Inventories	5	35,951	59,533	7,693
		1,628,167	1,166,628	3,085,192
Less: Current Liabilities				
Payables	6	(273,040)	(154,225)	(157,660)
Contract and Capital Grant/Contribution Liabilities	9	(415,553)	(506,444)	(404,898)
Bonds & Deposits	6	(9,195)	(15,921)	(9,095)
Loan and Lease Liability	7	(4,570)	0	(4,570)
Provisions	9	(141,662)	(87,501)	(141,662)
		(844,019)	(764,090)	(717,884)
Less: Cash Reserves	8	(570,806)	(534,377)	(572,063)
Add Back: Component of Leave Liability not Required to be funded		16,365	11,271	16,403
Add Back: Loan and Lease Liability		4,570	0	4,570
Less : Loan Receivable - clubs/institutions		0	0	0
Less : Trust Transactions Within Muni		0	0	0
Net Current Funding Position		234,275	(120,568)	1,816,218

SIGNIFICANT ACCOUNTING POLICIES

Please see Note 1(a) for information on significant accounting polices relating to Net Current Assets.

KEY INFORMATION

The amount of the adjusted net current assets at the end of the period represents the actual surplus (or deficit if the figure is a negative) as presented on the Rate Setting Statement.



This Year YTD
Surplus(Deficit)
\$1.82 M

Last Year YTD
Surplus(Deficit)

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2023**

**NOTE 2
EXPLANATION OF MATERIAL VARIANCES**

The material variance thresholds are adopted annually by Council as an indicator of whether the actual expenditure or revenue varies from the year to date Actual materially.

The material variance adopted by Council for the 2023-24 year is \$10,000 or 10.00% whichever is the greater.

Nature or type	Var. \$	Var. %	Explanation of positive variances		Explanation of negative variances	
			Timing	Permanent	Timing	Permanent
	\$	%				
Revenue from operating activities						
Operating grants, subsidies and contributions	464,088	1222.67%	▲	Positive variance due to the receipt of the Financial Assistance Grant.		
Fees and charges	20,453	14.22%	▲	Positive variance due to phasing of Domestic Refuse Rates, phased annually billed August 2023.		
Other revenue	24,228	340.38%	▲	Positive variance due to Insurance Reimbursement not budgeted for and phasing of Legal Fees Rate recovery phasing.		
Expenditure from operating activities						
Employee costs	(62,172)	(33.82%)	▼		Negative variance due to Rural road employee cost tracking higher than budgeted figure.	
Materials and contracts	(41,555)	(19.68%)	▼		Negative variance due to phasing of material & contracts expenditure.	
Insurance expenses	(17,905)	(37.73%)	▼		Negative variance is due to phasing of Admin - Insurance expenditure.	
Non-cash amounts excluded from operating activities	(11,692)	(99.67%)	▼		Depreciation expense has not been run for 23/24. This is a non-cash expense which is added back in the finance statement.	
Investing activities						
Proceeds from capital grants, subsidies and contributions	(65,528)	(80.18%)	▼		Budget Allocations for completed projects which are grant related in this FY are ahead of actuals.	

Description	Classification	Unrestricted	Restricted	Total Cash	Trust	Institution	Interest Rate	Maturity Date
		\$	\$	\$	\$			
Cash on hand								
Petty Cash	Cash and cash equivalents	500		500		N/A	NIL	On hand
CRC Cash on Hand	Cash and cash equivalents	100		100		N/A	NIL	On hand
Transfer Station Cash on Hand	Cash and cash equivalents	300		300		N/A	NIL	On hand
Administration Cash on Hand	Cash and cash equivalents	200		200		N/A	NIL	On hand
At Call Deposits								
Municipal Cash at Bank	Cash and cash equivalents	799,698		799,698		Bankwest	0.00%	N/A
Reserves Fund Bank	Cash and cash equivalents	0	572,063	572,063		Bankwest	0.05%	N/A
Total		800,798	572,063	1,372,861	0			
Comprising								
Cash and cash equivalents		800,798	572,063	1,372,861	0			
		800,798	572,063	1,372,861	0			

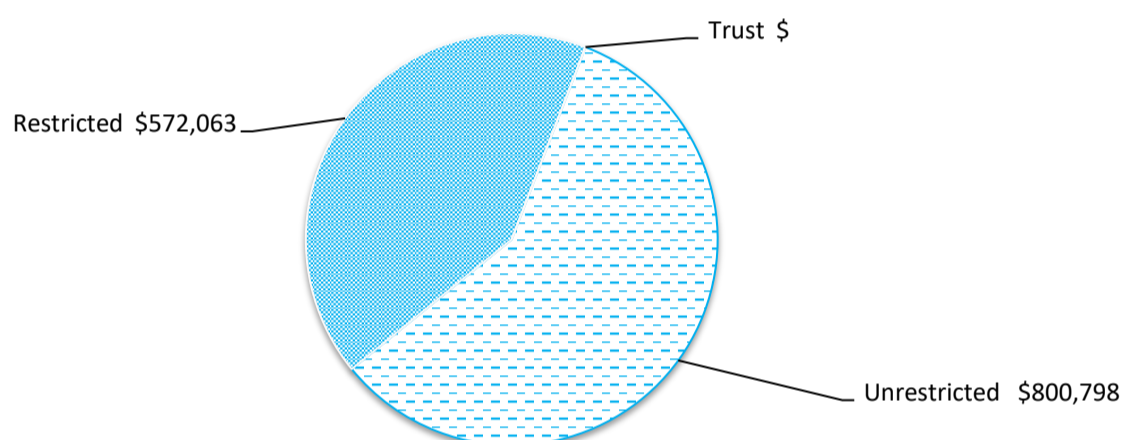
KEY INFORMATION

Cash and cash equivalents include cash on hand, cash at bank, deposits available on demand with banks and other short term highly liquid investments with original maturities of three months or less that are readily convertible to known amounts of cash and which are subject to an insignificant risk of changes in value. Bank overdrafts are reported as short term borrowings in current liabilities in the statement of net current assets.

The local government classifies financial assets at amortised cost if both of the following criteria are met:

- the asset is held within a business model whose objective is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

Financial assets at amortised cost held with registered financial institutions are listed in this note other financial assets at amortised cost are provided in Note 4 - Other assets.



NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2023

OPERATING ACTIVITIES
NOTE 4
RATE REVENUE

General rate revenue	Budget							YTD Actual			
	Rate in \$ (cents)	Number of Properties	Rateable Value	Rate Revenue	Interim Rate	Back Rate	Total Revenue	Rate Revenue	Interim Rates	Back Rates	Total Revenue
RATE TYPE				\$	\$	\$	\$	\$	\$	\$	\$
Gross rental value											
GRV Residential	0.140620	51	577,616	81,224	0	0	81,224	81,224	0	0	81,224
GRV Special Use	0.150750	3	137,893	20,787	0	0	20,787	20,787	0	0	20,787
GRV Rural Residential	0.115620	53	723,850	83,692	0	0	83,692	83,692	0	0	83,692
GRV Industrial	0.115620	2	35,360	4,088	0	0	4,088	4,088	0	0	4,088
Unimproved value											
UV Rural, Rural Residential and Mining Tenements	0.005370	131	202,259,000	1,086,131	0	0	1,086,131	1,086,131	0	0	1,086,131
Non Rateable											
Non Rateable	0.00000	32	17,365	0	0	0	0	0	0	0	0
Sub-Total		272	203,751,084	1,275,922	0	0	1,275,922	1,275,922	0	0	1,275,922
Minimum payment	Minimum \$										
Gross rental value											
GRV Residential	1,312	29	76,792	38,048	0	0	38,048	38,048	0	0	38,048
GRV Special Use	1,312	1	4,160	1,312	0	0	1,312	1,312	0	0	1,312
GRV Rural Residential	1,312	47	232,564	61,664	0	0	61,664	61,664	0	0	61,664
GRV Industrial	1,312	2	0	2,624	0	0	2,624	2,624	0	0	2,624
UV Rural, Rural Residential and Mining Tenements	1,312	94	12,920,836	123,328	0	0	123,328	123,328	0	0	123,328
Sub-total		173	13,234,352	226,976	0	0	226,976	226,976	0	0	226,976
		445	216,985,436	1,502,898	0	0	1,502,898	1,502,898	0	0	1,502,898
Discount							(43,000)				(2,611)
Amount from general rates							1,459,898				1,500,287.04
Rates Written Off		0	0	0	0	0	0	0	0	0	(104)
Ex-gratia rates		0	0	0	0	0	4,000	0	0	0	0
Total general rates							1,463,898				1,500,183

KEY INFORMATION

Prepaid rates are, until the taxable event for the rates has occurred, refundable at the request of the ratepayer. Rates received in advance give rise to a financial liability. On 1 July 2021 the prepaid rates were recognised as a financial asset and a related amount was recognised as a financial liability and no income was recognised. When the taxable event occurs the financial liability is extinguished and income recognised for the prepaid rates that have not been refunded.

Asset Ref.	Asset description	Budget				YTD Actual			
		Net Book Value	Proceeds	Profit	(Loss)	Net Book Value	Proceeds	Profit	(Loss)
	Transport	\$	\$	\$	\$	\$	\$	\$	\$

Capital acquisitions	Adopted Budget	Amended Budget	YTD Budget	YTD Actual	YTD Actual Variance
	\$	\$	\$	\$	\$
Buildings	490,380	490,380	0	14,114	14,114
Infrastructure - roads	3,239,740	3,239,740	0	46,119	46,119
Payments for Capital Acquisitions	3,855,368	3,855,368	0	60,233	60,233
Capital Acquisitions Funded By:					
	\$	\$	\$	\$	\$
Capital grants and contributions	3,535,296	3,535,296	81,730	16,202	(65,528)
Contribution - operations	266,072	320,072	(81,730)	44,031	125,761
Capital funding total	3,855,368	3,855,368	0	60,233	60,233

SIGNIFICANT ACCOUNTING POLICIES

Each class of fixed assets within either plant and equipment or infrastructure, is carried at cost or fair value as indicated less, where applicable, any accumulated depreciation and impairment losses.

Assets for which the fair value as at the date of acquisition is under \$5,000 are not recognised as an asset in accordance with *Financial Management Regulation 17A (5)*. These assets are expensed immediately.

Where multiple individual low value assets are purchased together as part of a larger asset or collectively forming a larger asset exceeding the threshold, the individual assets are recognised as one asset and capitalised.

Initial recognition and measurement for assets held at cost

Plant and equipment including furniture and equipment is recognised at cost on acquisition in accordance with *Financial Management Regulation 17A*. Where acquired at no cost the asset is initially recognised at fair value. Assets held at cost are depreciated and assessed for impairment annually.

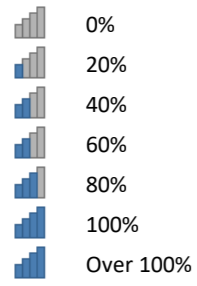
Initial recognition and measurement between mandatory revaluation dates for assets held at fair value

In relation to this initial measurement, cost is determined as the fair value of the assets given as consideration plus costs incidental to the acquisition. For assets acquired at zero cost or otherwise significantly less than fair value, cost is determined as fair value at the date of acquisition. The cost of non-current assets constructed by the Shire includes the cost of all materials used in construction, direct labour on the project and an appropriate proportion of variable and fixed overheads.

Payments for Capital Acquisitions



Capital expenditure total
Level of completion indicators



Percentage Year to Date Actual to Annual Budget expenditure where the expenditure over budget highlighted in red.

Level of completion indicator, please see table at the end of this note for further detail.

Account Number	Job Number	Balance Sheet Category	Account/Job Description	Adopted	Amended		YTD Actual	Variance (Under)/Over
				Budget	Budget	YTD Budget		
				\$	\$	\$	\$	\$
Buildings								
Law, Order & Public Safety								
E05111		521	Fire Station - New Toilet and Change Room	0	0	0	(2,218)	(2,218)
Total - Law, Order & Public Safety				0	0	0	(2,218)	(2,218)
Recreation And Culture								
E11383	WCC231	521	Wandering Community Centre Construction - Water Tanks DWER	0	0	0	(11,896)	(11,896)
E11383	WCC233	521	Wandering Community Centre Construction - New Veranda Grant	(120,000)	(120,000)	0	0	0
E11383	WCC234	521	Wandering Community Centre Upgrade - Kitchen Upgrade Grant	(370,380)	(370,380)	0	0	0
Total - Recreation And Culture				(490,380)	(490,380)	0	(11,896)	(11,896)
Total - Buildings				(490,380)	(490,380)	0	(14,114)	(14,114)
Plant & Equipment								
Transport								
E12360		525	Purchase Plant & Equipment	(55,000)	(55,000)	0	0	0
Total - Transport				(55,000)	(55,000)	0	0	0
Total - Plant & Equipment				(55,000)	(55,000)	0	0	0
Furniture & Equipment								
Governance								
E04116		523	Purchase Furniture & Equipment	(7,000)	(7,000)	0	0	0
Total - Governance				(7,000)	(7,000)	0	0	0
Total - Furniture & Equipment				(7,000)	(7,000)	0	0	0
Infrastructure - Roads								
Transport								
E12101	RRSP241	541	Bridge Upgrade Culverts (0425)	(582,000)	(582,000)	0	0	0
E12102	RRG233	541	RRG - Kubbine Road - Gravel Resheeting - SLK 0.0 -6.16	0	0	0	(8,680)	(8,680)
E12102	RRG241	541	York Williams Road- SLK21.75-26.71 Bitumen Seal	(860,505)	(860,505)	0	0	0
E12103	R2R232	541	R2R - Wandering Pingelly Road , Bridge 0424A over Biberkine Bro	(234,551)	(234,551)	0	0	0
E12103	R2R234	541	R2R-Kubbine Road - Gravel Resheet	0	0	0	(18,091)	(18,091)
E12103	R2R241	541	Drainage Repairs down hill Wandoo Crescent	(43,376)	(43,376)	0	0	0
E12103	R2R242	541	Bridge Repairs	(61,734)	(61,734)	0	0	0
E12104	BS241	541	York Williams Road -Intersection Seal on north Approach SLK 8.7!	(169,323)	(169,323)	0	0	0
E12105	WSFN231	541	North Bannister Wandering - Rd SLK 9.1 -22.0 - project developm	(29,948)	(29,948)	0	(8,753)	(8,753)
E12105	WSFN232	541	Wandering Narrogin Rd SLK 2.35 - 6.15 - project development fun	(8,656)	(8,656)	0	0	0
E12105	WSFN233	541	Wandering Pingelly Rd SLK 3.90 - 19.10 - project development fur	(72,767)	(72,767)	0	(10,595)	(10,595)
E12105	WSFN241	541	North Bannister Wandering Road-Upgrade and Overlay Pavemen	(1,101,343)	(1,101,343)	0	0	0
E12105	WSFN242	541	WSFN North Bannister Wandering Road - Replace and Upgrade C	(75,537)	(75,537)	0	0	0
Total - Transport				(3,239,740)	(3,239,740)	0	(46,119)	(46,119)
Total - Infrastructure - Roads				(3,239,740)	(3,239,740)	0	(46,119)	(46,119)
Infrastructure - Footpaths								
Transport								
E12140	BN01	543	Bike Network-Gnowing Street 185m new Path	(63,248)	(63,248)	0	0	0
Total - Transport				(63,248)	(63,248)	0	0	0
Total - Infrastructure - Footpaths				(63,248)	(63,248)	0	0	0
Grand Total				(3,855,368)	(3,855,368)	0	(60,233)	(60,233)

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2023**

**FINANCING ACTIVITIES
NOTE 7
BORROWINGS**

Repayments - borrowings

Information on borrowings			New Loans			Principal Repayments			Principal Outstanding			Interest Repayments		
Particulars	Loan No.	1 July 2023	Actual	Adopted Budget	Amended Budget	Actual	Adopted Budget	Amended Budget	Actual	Adopted Budget	Amended Budget	Actual	Adopted Budget	Amended Budget
		\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
Community amenities														
Industrial Estate Development	1	75,542	0	0	0	0	(4,570)	(4,570)	75,542	70,972	70,972	0	(3,302)	(3,302)
Total		75,542	0	0	0	0	(4,570)	(4,570)	75,542	70,972	70,972	0	(3,302)	(3,302)
Non-current borrowings		70,972							70,972					
		75,542							75,542					

All debenture repayments were financed by general purpose revenue.

The Shire has no unspent debenture funds as at 30th June 2023, nor is it expected to have unspent funds as at 30th June 2024.

KEY INFORMATION

Borrowing costs are recognised as an expense when incurred except where they are directly attributable to the acquisition, construction or production of a qualifying asset. Where this is the case, they are capitalised as part of the cost of the particular asset until such time as the asset is substantially ready for its intended use or sale.

Fair values of borrowings are not materially different to their carrying amounts, since the interest payable on those borrowings is either close to current market rates or the borrowings are of a short term nature. Non-current borrowings fair values are based on discounted cash flows using a current borrowing rate.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2023**

**OPERATING ACTIVITIES
NOTE 8
RESERVE ACCOUNTS**

Reserve accounts

Reserve name	Opening Balance	Budget Interest Earned	Actual Interest Earned	Budget Transfers In (+)	Actual Transfers In (+)	Budget Transfers Out (-)	Actual Transfers Out (-)	Budget Closing Balance	Actual YTD Closing Balance
	\$	\$	\$	\$	\$	\$	\$	\$	\$
Restricted by Council									
Leave reserve	16,364.70	129.00	38.74	5,000.00	0.00	0.00	0.00	21,493.70	16,403.44
Land & building reserve	253,164.86	1,996.00	599.31	0.00	0.00	0.00	0.00	255,160.86	253,764.17
Plant replacement reserve	135,588.37	1,069.00	320.98	348,378.00	0.00	0.00	0.00	485,035.37	135,909.35
Office equipment reserve	40,335.67	318.00	95.49	0.00	0.00	0.00	0.00	40,653.67	40,431.16
Fuel facility reserve	85,352.65	673.00	202.05	16,000.00	0.00	0.00	0.00	102,025.65	85,554.70
WSFN Funding reserve	40,000.00	0.00	0.00	315.00	0.00	0.00	0.00	40,315.00	40,000.00
	570,806.25	4,185.00	1,256.57	369,693.00	0.00	0.00	0.00	944,684.25	572,062.82

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2023**

**NOTE 9
BUDGET AMENDMENTS**

Amendments to original budget since budget adoption. Surplus/(Deficit)

GL/JOB Code	Description	Council Resolution	Classification	Non Cash Adjustment	Increase in Available Cash	Decrease in Available Cash	Amended Budget Running Balance
				\$	\$	\$	\$
	Budget adoption						0
			Opening Surplus(Deficit)			(11,986)	(11,986)
				0	0	(11,986)	(11,986)

13.2 Accounts for Payment August 2023

File Reference:	N/A
Location:	N/A
Applicant:	N/A
Author:	Alan Hart – Chief Executive Officer
Authorising Officer	Alan Hart – Chief Executive Officer
Date:	12 September 2023
Disclosure of Interest:	N/A
Attachments:	Payment Listing and Credit Card Statement August 2023
Previous Reference:	Nil

Summary:

Council to note payments of accounts as presented.

Background:

The schedule of accounts is included as an attachment for Council information.

Comment:

If you have any questions regarding payments in the listing please contact the office prior to the Council meeting.

Consultation:

There has been no consultation.

Statutory Environment:

Section 12 of the *Local Government (Financial Management) Regulations 1996* states that

- 12 (1) A list of creditors is to be compiled for each month showing –
- (a) The payee’s name;
 - (b) The amount of the payment;
 - (c) Sufficient information to identify to transaction; and
 - (d) The date of the meeting of the council to which the list is to be presented.

Policy Implications:

There are no policy implications.

Financial Implications:

There are no financial implications.

Strategic Implications:

Improve Our Financial Position

Our Goals	Our Strategies
The Wandering Shire is financially sustainable	<ul style="list-style-type: none"> • Improve accountability and transparency • Develop an investment strategy that plans for the future and provides cash backed reserves to meet operational needs • Prudently manage our financial resources to ensure value for money • Reduce reliance on operational grants

Sustainability Implications:

- Environmental: There are no known significant environmental considerations.
- Economic: There are no known significant economic considerations.
- Social: There are no known significant social considerations.

Risk Implications:

Nil.

Voting Requirements:

Simple Majority

Shire of Wandering

Certificate of Expenditure – 31 July 2023

This Schedule of Accounts to be passed for payment covering:

Payment Method	Cheque/EFT/DD Number	Amount
Municipal Fund:		
Electronic Funds Transfers	EFT8445 – EFT8532	\$ 25 534.26
Direct Debits	DD4427.1 – DD4456.10	\$275,966.23
Cheques	Nil	\$0
	TOTAL	\$301,500.49

Alan Hart
Chief Executive Officer

Officer Recommendation:

That in accordance with section 13 of the Financial Management Regulations of the *Local Government Act 1995* and in accordance with delegation, payment of Municipal Fund vouchers, Licensing, Salaries and Wages and EFT Transfers, Direct Debit totalling \$301,500.49 (attached) be noted as approved for payment and credit card statement be noted.

Moved: _____

Seconded: _____

Carried

For/Against: Cr Turton Cr Treasure Cr Hansen Cr Little Cr Parsons Cr Watts

Shire of Wandering
List of Accounts for Payments for August 2023

Chq/EFT	Date	Name	Description	Amount
EFT8445	11/08/2023	AMPAC	Debt collections costs	(209.00)
96921	31/05/2023	AMPAC	Debt collections costs 30 May 2023 - Ref 34941	209.00
EFT8446	11/08/2023	Advertiser Print	Printing	(525.00)
11702	24/07/2023	Advertiser Print	500 DL Window Envelopes & 500 DL Plain Envelopes, Postage	525.00
EFT8447	11/08/2023	Avon Waste	Waste Collection	(3,630.91)
56943	30/06/2023	Avon Waste	Domestic & commercial general waste services, Fuel facility bin, North Bannister bins, General waste to landfill gate fee, Recycling Services, Recycle processing fee, Transfer Station general waste bins, General waste to landfill gate fee, Transfer Station recycle bins, Recycle processing fee, Building waste bin hire	3630.91
EFT8448	11/08/2023	Best Office Systems	Copier Contract	(295.03)
619559	24/07/2023	Best Office Systems	Copier Contract - Shire B&W copies 20 June - 20 July 2023, Colour copies	295.03
EFT8449	11/08/2023	Bob Waddell & Associates	Financial Assistance	(6,187.50)
3162	16/01/2023	Bob Waddell & Associates	Assistance with 2021-2022 WALGGC information return	247.50
3273	03/04/2023	Bob Waddell & Associates	Assistance with March Monthly Financials Statements	412.50
3283	11/04/2023	Bob Waddell & Associates	Assistance with March Monthly Financial Statements	1072.50
3460	31/07/2023	Bob Waddell & Associates	Assistance 2023/23 FV Revaluation of Assets / with 20/24 Annual budget / Assistance with 22/23 Annual Financial Report.	4455.00
EFT8450	11/08/2023	Boddington Hardware & Newsagency	Hardware Supplies	(371.70)
790632	28/06/2023	Boddington Hardware & Newsagency	Boddington Hardware Monthly Expenditure Gardening Supplies	187.30
790809	29/06/2023	Boddington Hardware & Newsagency	Boddington Hardware Monthly Expenditure Gardening Supplies	184.40
EFT8451	11/08/2023	Boddington IGA	cafe supplies CRC	(69.07)
13102023	01/07/2023	Boddington IGA	Milk for CRC	19.90
3059	25/07/2023	Boddington IGA	Cafe supplies	49.17

Shire of Wandering
List of Accounts for Payments for August 2023

Chq/EFT	Date	Name	Description	Amount
EFT8452	11/08/2023	Boddington News	Boddington News	(9.00)
25	08/08/2023	Boddington News	Boddington News Edition #717	9.00
EFT8453	11/08/2023	Child Support Agency	Payroll deductions	(119.36)
DEDUCTION	02/08/2023	Child Support Agency	Payroll Deduction	119.36
EFT8454	11/08/2023	City of Kalamunda	Building services	(166.50)
34600	12/07/2023	City of Kalamunda	Building services provided for the month of 25 May - 30 June 23	166.50
EFT8455	11/08/2023	Crossman Hot Water & Plumbing	Plumbing at Caravan Park	(242.00)
9388	30/06/2023	Crossman Hot Water & Plumbing	Supply and install tap for washing machine connection	242.00
EFT8456	11/08/2023	Focus Networks	Agreement Monthly Software as a Service July 2023	(674.58)
13372	12/07/2023	Focus Networks	Managed Firewall Service Sonicwall TZ270	592.08
13385	12/07/2023	Focus Networks	Managed Firewall Service Sonicwall TZ270	82.50
EFT8458	11/08/2023	Hersey Safety	Hardware Supplies	(330.00)
2201	07/07/2023	Hersey Safety	Smart Tool 600, Stirling 10mtr Tape Measure	330.00
EFT8459	11/08/2023	Industrial Automation Group	Standpipe Annual Service Fees	(1,437.70)
15246	20/07/2023	Industrial Automation Group	1 standpipe, Annual Cloud Server	1437.70
EFT8460	11/08/2023	JLT	Insurance Premium Renewal	(3,757.60)
214295	03/07/2023	JLT	Salary Continuance Insurance Premium Renewal	3757.60
EFT8461	11/08/2023	Jozef Majko	Payroll deductions	(600.00)
DEDUCTION	02/08/2023	Jozef Majko	Payroll Deduction	600.00
EFT8462	11/08/2023	LGISWA	Insurance Premiums	(73,368.04)
100-154528-01	03/07/2023	LGISWA	Insurance Premiums 2023/24 year	73368.04
EFT8463	11/08/2023	Local Health Authorities Analytical Committee	Analytical Expenses	(396.00)
MA2023123	01/08/2023	Local Health Authorities Analytical Committee	Analytical Expenses 2022/23 year	396.00
EFT8464	11/08/2023	MJ & C Cornish	Grave Dig	(330.00)
265	24/07/2023	MJ & C Cornish	Grave Dig	330.00
EFT8465	11/08/2023	Marketforce	Advertsing	(1,004.48)
48383	20/06/2023	Marketforce	Ad for West Australian Differential Rates Sat 24 June 2023	1004.48
EFT8466	11/08/2023	Narrogin Betta Home Living	Small Equipment Purchase	(688.80)
25710082822	09/08/2023	Narrogin Betta Home Living	Patch Leads 15 m & 5 M	89.80
25710082815	09/08/2023	Narrogin Betta Home Living	BEKO 7KG Dryer for Caravan Park	599.00

Shire of Wandering
List of Accounts for Payments for August 2023

Chq/EFT	Date	Name	Description	Amount
EFT8467	11/08/2023	Pingelly IGA	Purchase of The West Australian	(185.20)
JULY2023	03/08/2023	Pingelly IGA	Purchase of The West Australian 11 July - 03 Aug 2023,	185.20
EFT8468	11/08/2023	Quality Press	Printing	(821.70)
69747	04/07/2023	Quality Press	Bushfire Notice 23/24	821.70
EFT8469	11/08/2023	Restorx WA Pty Ltd	Carpet clean, dehumidifiers, mould remediation etc to Admin Building flood	(15,889.43)
530801	22/06/2023	Restorx WA Pty Ltd	Carpet clean, dehumidifiers, mould remediation etc to Admin Building flood-Recoverable by Insurance	15889.43
EFT8470	11/08/2023	SM Freight	Freight	(33.00)
1552	19/05/2023	SM Freight	pick up items from Rynat May 2023	33.00
EFT8471	11/08/2023	Shire of Wandering Christmas Club	Payroll deductions	(260.00)
DEDUCTION	02/08/2023	Shire of Wandering Christmas Club	Payroll Deduction	260.00
EFT8472	11/08/2023	Shire of Wandering Staff Lotto	Payroll deductions	(80.00)
DEDUCTION	02/08/2023	Shire of Wandering Staff Lotto	Payroll Deduction	80.00
EFT8473	11/08/2023	Spiffy Lawns & Gardens	Plants for Cemetery	(695.00)
65.00	19/07/2023	Spiffy Lawns & Gardens	Plants for Administraiton Building	300.00
67	01/08/2023	Spiffy Lawns & Gardens	Plants for Cemetery	395.00
EFT8474	11/08/2023	Startrack Express	Postage Expenses	(5.23)
6230528024004	19/07/2023	Startrack Express	Postage Expenses GEN	5.23
EFT8475	11/08/2023	Steer Fabrication	Repair and instalation of truck tub	(9,950.00)
55	06/07/2023	Steer Fabrication	Repair and instalation of truck tub	9950.00
EFT8476	11/08/2023	Sunny Industrial Brushware	Street Sweeper Parts	(1,881.00)
27134	13/07/2023	Sunny Industrial Brushware	2 broom brushes	1881.00
EFT8477	11/08/2023	TK Price & Co	Gravel Supplies	(9,548.00)
01072023	01/07/2023	TK Price & Co	Payment of gravel used	9548.00
EFT8478	11/08/2023	Truckline	Brake Boosters	(570.00)
8601119	23/06/2023	Truckline	Brake Boosters x 6	342.00
8619502	30/06/2023	Truckline	Brake Boosters x 4	228.00
EFT8479	11/08/2023	WA Contract Ranger Services	Contract Ranger Service	(627.00)
4886	26/07/2023	WA Contract Ranger Services	Contract Ranger Service Labour & travel	627.00

Shire of Wandering
List of Accounts for Payments for August 2023

Chq/EFT	Date	Name	Description	Amount
EFT8480	11/08/2023	WD Auto Repairs	Vehicle Servicing	(1,166.04)
1242	28/06/2023	WD Auto Repairs	Tyre replacement and air filter	603.55
1130	01/07/2023	WD Auto Repairs	WD 0 service	0.50
1275	26/07/2023	WD Auto Repairs	Ute Service	561.99
EFT8481	11/08/2023	Wandering Camp Out Weekend	Collective Sales	(70.40)
25	24/07/2023	Wandering Camp Out Weekend	Collective Sales	70.40
EFT8482	11/08/2023	Wandering HVAC	Split system installation	(3,971.00)
4059	10/07/2023	Wandering HVAC	Split system installation	3971.00
EFT8483	04/08/2023	DOT Licencing	Licencing Services	(200.00)
WADO04082023	04/08/2023	DOT Licencing	Transport WADO04082023	200.00
EFT8484	04/08/2023	Pivotel	Satellite Sleeves Bushfire radios	(60.00)
3642790	15/07/2023	Pivotel	Satellite Sleeves Bushfire radios - 15 July - 14 Aug 2023	60.00
EFT8485	04/08/2023	Telstra	Monthly Communication Charges	(5,046.31)
822543311.3	18/07/2023	Telstra	Admin office CEO Mobile, Admin office Fax, Fire Station, Depot Internet, Admin office, Service & Equipment, office Internet Connection, , Admin iPad, Supervisor, Remote Internet, Fuel Facility, Fuel Facility, Fuel Facility, CRC Internet Connection, Office Internet Connection, Phone plan, Hardware Purchases	5046.31
EFT8486	11/08/2023	DOT Licencing	Licencing Services	(6,393.25)
WADO11082023	11/08/2023	DOT Licencing	Transport WADO11082023	6393.25
EFT8487	11/08/2023	Synergy	Electricity Use	(5,415.71)
2029883805	20/07/2023	Synergy	Depot Usage 20 May - 19 July 2023	387.92
2065869072	20/07/2023	Synergy	Administration Office Usage 20 May - 19 July 2023	874.81
2049878479	21/07/2023	Synergy	Fuel facility Usage 20 May - 19 July 2023	294.40
2001925364	21/07/2023	Synergy	CRC & public conveniences 20 May - 19 July 2023, Public conveniences 20 May - 19 July 2023	825.01
2097825872	24/07/2023	Synergy	Community Centre Usage 20 May - 19 July 2023	300.42
2081862588	24/07/2023	Synergy	19 Humes Wy Usage 20 May - 19 July 2023	684.93
2081863356	24/07/2023	Synergy	13 Dunmall Dr Usage 20 May - 19 July 2023	733.43
2001926416	24/07/2023	Synergy	Caravan Park & Fire Station 20 May - 19 July 2023, , Fire Station 20 May - 19 July 2023,	1314.79

Shire of Wandering
List of Accounts for Payments for August 2023

Chq/EFT	Date	Name	Description	Amount
EFT8488	18/08/2023	Australian Taxation Office	BAS July 2023	(22,174.00)
JULY2023	31/07/2023	Australian Taxation Office	GST on Sales, Group Tax Clearing, Quarterly FBT Instalment, GST on Purchases, Fuel Credits, Rounding	22174.00
EFT8489	18/08/2023	Western Australian Treasury Corporation	Loan Guarantee Fee	(2.90)
GFEЕ JUNE23	01/08/2023	Western Australian Treasury Corporation	Loan Guarantee Fee on Loan 10 30 June 2023	2.90
EFT8490	18/08/2023	DOT Licencing	Licencing Services	(434.10)
BS196	18/08/2023	DOT Licencing	Transport WADO WADO180823	434.10
EFT8491	25/08/2023	AMPAC	Debt collection Fees	(156.75)
98626	31/07/2023	AMPAC	Debt collections costs 27 July 2023 - Inv 35129	156.75
EFT8492	25/08/2023	Alana Karen Rosenthal	Quiz Night Prizes - Kmart / Coles	(242.25)
3380	23/08/2023	Alana Karen Rosenthal	Kmart / Coles - Quiz Night Prizes	242.25
EFT8493	25/08/2023	Allwest Plant Hire	Hire Fees	(5,049.00)
32257	31/07/2023	Allwest Plant Hire	Hire of Multi tyre Roller	5049.00
EFT8494	25/08/2023	Avon Waste	Waste Collection	(4,451.11)
57389	31/07/2023	Avon Waste	Domestic & commercial general waste services, Fuel facility bin, North Bannister bins, General waste to landfill gate fee, Recycling Services, Recycle processing fee, Transfer Station general waste bins, General waste to landfill gate fee, Transfer Station recycle bins, Recycle processing fee, Building waste bin hire	4451.11
EFT8495	25/08/2023	Bob Waddell & Associates	Financial Assistance	(2,062.50)
3470	07/08/2023	Bob Waddell & Associates	2023-24 Statutory Budget	866.25
3490	14/08/2023	Bob Waddell & Associates	Assistance with 2023/ 23 Annual & Ass July monthly Financial Statements	1196.25
EFT8496	25/08/2023	Boddington Hardware & Newsagency	Gas Bottles	(130.70)
793435	13/07/2023	Boddington Hardware & Newsagency	Boddington Hardware Monthly Expenditure - Gas Bottle x 2, Boddington Hardware Monthly Expenditure - Gas Bottle x 1, Boddington Hardware Monthly Expenditure - Gas Bottle x 5	288.00

Shire of Wandering
List of Accounts for Payments for August 2023

Chq/EFT	Date	Name	Description	Amount
EFT8497	25/08/2023	Boddington IGA	Grocery Supplies	(156.10)
01/3198	01/08/2023	Boddington IGA	Councilors Supplies, Councilors Supplies	46.82
6293	07/08/2023	Boddington IGA	Cafe Supplies - Milk, Tomatoes, Tissues	32.19
02/7480	07/08/2023	Boddington IGA	Councilors Supplies, Councilors Supplies	28.59
01/2587	16/08/2023	Boddington IGA	Quiz Night Groceries Chips = \$ 28.70 Oil - \$19.80	48.50
EFT8498	25/08/2023	Brookton Plumbing	Plumbing Services	(5,940.00)
6961	11/08/2023	Brookton Plumbing	Supply pump and water main to public ablution block on Watts Street Run 100m pipe front shed north and south all downpipes along west side and into new tanks, Labour	5940.00
EFT8499	25/08/2023	Child Support Agency	Payroll deductions	(119.36)
DEDUCTION	16/08/2023	Child Support Agency	Payroll Deduction for Jordan Kobi Annesley 16/08/2023	119.36
EFT8500	25/08/2023	Crossman Hot Water & Plumbing	Plumbing Services	(253.00)
8736	01/06/2023	Crossman Hot Water & Plumbing	Repair Pump Fault at 13 Dunmall Drive	253.00
EFT8501	25/08/2023	Focus Networks	IT Consumables	(382.80)
10198	25/07/2023	Focus Networks	Dell Universal Dock UD22 & Postage	382.80
EFT8502	25/08/2023	Fuel Distributors of WA	Oils	(930.00)
485902	14/07/2023	Fuel Distributors of WA	208 litres of Dynatrans ACX 10 hydraulic oil	930.00
EFT8503	25/08/2023	Geodetic Supply & Repair P/L T/As GSR Laser Tools	Minor Plant	(11,324.50)
51679	03/08/2023	Geodetic Supply & Repair P/L T/As GSR Laser Tools	Clegg Impact Tester 4.5kg 884 model	11324.50
EFT8504	25/08/2023	Great Southern Fuel Supplies	Fuel July 2023	(327.41)
JULY2023	31/07/2023	Great Southern Fuel Supplies	Fuel July 2023	327.41
EFT8505	25/08/2023	Harvey Norman AV\IT Armadale	Minor Plant items	(1,529.00)
1200833	08/08/2023	Harvey Norman AV\IT Armadale	Mobile Phone for Chief Fire Control Officer	1380.00
1201494	08/08/2023	Harvey Norman AV\IT Armadale	Bosch Vacuum Cleaner for Wandering BFB	149.00
EFT8506	25/08/2023	IT Vision	IT Service Fee	(770.00)
935	10/07/2023	IT Vision	Synergysoft Maintenance	770.00
EFT8507	25/08/2023	Jones Lang LaSalle Advisory Services	Fair Value Costs	(18,700.00)
269198	31/07/2023	Jones Lang LaSalle Advisory Services	Undertake Roads, Bridges, Footpath Infrastructure Fair Valuation at 30th June 2023	18700.00
EFT8508	25/08/2023	Jozef Majko	Payroll deductions	(600.00)
DEDUCTION	16/08/2023	Jozef Majko	Payroll Deduction	600.00

Shire of Wandering
List of Accounts for Payments for August 2023

Chq/EFT	Date	Name	Description	Amount
EFT8509	25/08/2023	Narrogin Betta Home Living	Wandering Bush Fire extension Furniture Fitout	(2,291.00)
25710080320	13/06/2023	Narrogin Betta Home Living	LG Fridge Freezer - #GB-455PL, HiSense 55 inch tv - #55A7HAU	2092.00
25710082415	27/07/2023	Narrogin Betta Home Living	Locteck Locteck Dual Arm Bracket for TV	199.00
EFT8510	25/08/2023	Officeworks	Office supplies	(1,968.28)
608555088	17/07/2023	Officeworks	Hand Towels	144.11
6085556085	17/07/2023	Officeworks	Whitboard	561.95
608814747	01/08/2023	Officeworks	Office supplies, HDMI Cables, Office supplies, Toilet Paper, Paper Hands Towels, Office supplies, postage	1262.22
EFT8511	25/08/2023	Pyke Plumbing and Gas Pty Ltd	Plumbing Services	(453.30)
96	18/08/2023	Pyke Plumbing and Gas Pty Ltd	Repair leak to damaged water tank at Town Oval, Replace urinal etc at Watts Street public conveniences	453.30
EFT8512	25/08/2023	Quest Payment Systems	OPT Monthly Maintence	(418.00)
31004	31/07/2023	Quest Payment Systems	Monthly maintenance fee - Fual Facility 1/7 - 31/7/2023	418.00
EFT8513	25/08/2023	Resonline	Online booking system Caravan Park	(242.00)
157350	31/07/2023	Resonline	Online booking system fee - Caravan Park July 2023	242.00
EFT8514	25/08/2023	Scavenger Fire Safety	Fire extinguishers Servicing	(1,258.40)
12147	26/07/2023	Scavenger Fire Safety	Servicing Fire extinguishers All Council Buildings	1258.40
EFT8515	25/08/2023	Shire of Cuballing	Elected Members Golf day	(530.00)
6033	16/08/2023	Shire of Cuballing	Elected Members Golf day	530.00
EFT8516	25/08/2023	Shire of Narrogin	Senior Health Officer Labour July 2023	(32.00)
78405887	01/08/2023	Shire of Narrogin	Senior Health Officer Labour July 2023	32.00
EFT8517	25/08/2023	Shire of Wandering Christmas Club	Payroll deductions	(260.00)
DEDUCTION	16/08/2023	Shire of Wandering Christmas Club	Payroll Deduction	260.00
EFT8518	25/08/2023	Shire of Wandering Staff Lotto	Payroll deductions	(85.00)
DEDUCTION	16/08/2023	Shire of Wandering Staff Lotto	Payroll Deduction	85.00
EFT8519	25/08/2023	Startrack Express	Postage Expenses GEN	(5.23)
6230528024007	16/08/2023	Startrack Express	Freight - library books	5.23
EFT8520	25/08/2023	The Workwear Group	Councillors Shirts	(109.90)
14610880	02/06/2023	The Workwear Group	Councillors Shirts	109.90

Shire of Wandering
List of Accounts for Payments for August 2023

Chq/EFT	Date	Name	Description	Amount
EFT8521	25/08/2023	WALGA	WALGA Association Membership	(29,372.16)
SI-006089	25/07/2023	WALGA	WALGA Association Membership, Procurement Services, Council Connect, Council Connect, Employee Relations Services, Local Laws Services, Governance Services	28714.16
SI-006165	27/07/2023	WALGA	WALGA 2023 Local Government Convention - Shire President	1296.00
EFT8522	25/08/2023	Wandering Seamstress	Wandering Collective	(104.00)
2	22/07/2023	Wandering Seamstress	Collective Sales	104.00
EFT8523	25/08/2023	Western Australian Hemp Seed Oil Company	Wandering Collective	(57.60)
0329	10/08/2023	Western Australian Hemp Seed Oil Company	Collective Sales	57.60
EFT8524	25/08/2023	Yahava Koffeeworks Wholesale	CRC Café Expenses	(307.00)
100018877	16/08/2023	Yahava Koffeeworks Wholesale	8 x 1 kg Coffee Beans 1 x 1kg Machine Cleaner, , 8 x 1 kg Coffee Beans 1 x 1kg Machine Cleaner,	307.00
EFT8525	28/08/2023	Bankwest	Credit Card	(1,977.11)
TAVERN	20/07/2023	Bankwest	Credit Card July 2023	1977.11
EFT8526	28/08/2023	DOT Licencing	Licencing Services	(943.05)
WADO280823	28/08/2023	DOT Licencing	Transport WADO	943.05
EFT8527	28/08/2023	Landgate	Valuation Services	(30.50)
321511123378	03/08/2023	Landgate	Valuation rolls	30.50
EFT8528	28/08/2023	Synergy	Street lighting Usage	(793.89)
736847310	22/08/2023	Synergy	Street lighting, Usage	793.89
EFT8529	28/08/2023	Telstra	Communication Charges	(1,007.77)
02112022	31/05/2023	Telstra	Admin office, Harvest ban, Admin office, Fuel facility, CRC, Admin office, Admin office, CRC, CRC, Admin office, Consulting room, Admin iPad, Internet - 13 Dunmall Dr, Supervisor, Remote Internet, Fuel Facility, Fuel Facility, Fuel Facility, CRC Internet Connection, Office Internet Connection, Phone plan	1007.77
EFT8531	31/08/2023	ClickSuper	Transaction fee	(18.92)
DD23073335	15/08/2023	ClickSuper	Transaction fee July 2023	18.92

Shire of Wandering
List of Accounts for Payments for August 2023

Chq/EFT	Date	Name	Description	Amount
EFT8532	31/08/2023	DOT Licencing	Licencing Services	(685.10)
BS31082023	31/08/2023	DOT Licencing	Transport WADO31082023	685.10
DD4427.1	02/08/2023	Macquarie Super	Superannuation contributions	(117.73)
SUPER	02/08/2023	Macquarie Super	Payroll Deduction	117.73
DD4427.2	02/08/2023	HESTA	Superannuation contributions	(236.29)
SUPER	02/08/2023	HESTA	Payroll Deduction	180.03
DEDUCTION	02/08/2023	HESTA	Payroll Deduction	56.26
DD4427.3	02/08/2023	Aware Super	Superannuation contributions	(5,598.10)
DEDUCTION	02/08/2023	Aware Super	Payroll Deduction	704.67
SUPER	02/08/2023	Aware Super	Payroll Deduction	4893.43
DD4427.4	02/08/2023	ANZ OnePath Masterfund	Superannuation contributions	(189.00)
DEDUCTION	02/08/2023	ANZ OnePath Masterfund	Payroll Deduction	45.00
SUPER	02/08/2023	ANZ OnePath Masterfund	Payroll Deduction	144.00
DD4427.5	02/08/2023	Australian Super	Superannuation contributions	(692.88)
DEDUCTION	02/08/2023	Australian Super	Payroll Deduction	164.97
SUPER	02/08/2023	Australian Super	Payroll Deduction	527.91
DD4427.6	02/08/2023	HostPlus Super Fund	Superannuation contributions	(266.75)
DEDUCTION	02/08/2023	HostPlus Super Fund	Payroll Deduction	63.51
SUPER	02/08/2023	HostPlus Super Fund	Payroll Deduction	203.24
DD4427.7	02/08/2023	MLC Masterkey	Superannuation contributions	(293.07)
DEDUCTION	02/08/2023	MLC Masterkey	Payroll Deduction	69.78
SUPER	02/08/2023	MLC Masterkey	Payroll Deduction	223.29
DD4427.8	02/08/2023	CBUS	Superannuation contributions	(213.25)
SUPER	02/08/2023	CBUS	Payroll Deduction	213.25
DD4427.9	02/08/2023	Prime Super	Superannuation contributions	(283.09)
SUPER	02/08/2023	Prime Super	Payroll Deduction	283.09
DD4441.1	16/08/2023	Macquarie Super	Superannuation contributions	(141.66)
SUPER	16/08/2023	Macquarie Super	Payroll Deduction	141.66
DD4441.2	16/08/2023	HESTA	Superannuation contributions	(197.44)
SUPER	16/08/2023	HESTA	Payroll Deduction	150.43
DEDUCTION	16/08/2023	HESTA	Payroll Deduction	47.01

Shire of Wandering
List of Accounts for Payments for August 2023

Chq/EFT	Date	Name	Description	Amount
DD4441.3	16/08/2023	Aware Super	Superannuation contributions	(5,580.62)
DEDUCTION	16/08/2023	Aware Super	Payroll Deduction	681.18
SUPER	16/08/2023	Aware Super	Payroll Deduction	4899.44
DD4441.4	16/08/2023	ANZ OnePath Masterfund	Superannuation contributions	(189.00)
DEDUCTION	16/08/2023	ANZ OnePath Masterfund	Payroll Deduction	45.00
SUPER	16/08/2023	ANZ OnePath Masterfund	Payroll Deduction	144.00
DD4441.5	16/08/2023	Australian Super	Superannuation contributions	(1,104.65)
DEDUCTION	16/08/2023	Australian Super	Payroll Deduction	164.97
SUPER	16/08/2023	Australian Super	Payroll Deduction	939.68
DD4441.6	16/08/2023	HostPlus Super Fund	Superannuation contributions	(266.75)
DEDUCTION	16/08/2023	HostPlus Super Fund	Payroll Deduction	63.51
SUPER	16/08/2023	HostPlus Super Fund	Payroll Deduction	203.24
DD4441.7	16/08/2023	MLC Masterkey	Superannuation contributions	(293.07)
DEDUCTION	16/08/2023	MLC Masterkey	Payroll Deduction	69.78
SUPER	16/08/2023	MLC Masterkey	Payroll Deduction	223.29
DD4441.8	16/08/2023	CBUS	Superannuation contributions	(82.28)
SUPER	16/08/2023	CBUS	Payroll Deduction	82.28
DD4441.9	16/08/2023	Prime Super	Superannuation contributions	(283.09)
SUPER	16/08/2023	Prime Super	Payroll Deduction	283.09
DD4456.1	29/08/2023	Macquarie Super	Superannuation contributions	(101.28)
SUPER	29/08/2023	Macquarie Super	Payroll Deduction	101.28
DD4456.2	29/08/2023	HESTA	Payroll deductions	(233.70)
SUPER	29/08/2023	HESTA	Payroll Deduction	178.06
DEDUCTION	29/08/2023	HESTA	Payroll Deduction	55.64
DD4456.3	29/08/2023	Aware Super	Payroll deductions	(5,661.96)
DEDUCTION	29/08/2023	Aware Super	Payroll Deduction	746.59
SUPER	29/08/2023	Aware Super	Payroll Deduction	4715.37
DEDUCTION	29/08/2023	Aware Super	Payroll Deduction	200.00
DD4456.4	29/08/2023	ANZ OnePath Masterfund	Superannuation contributions	(262.42)
DEDUCTION	29/08/2023	ANZ OnePath Masterfund	Payroll Deduction	62.48
SUPER	29/08/2023	ANZ OnePath Masterfund	Payroll Deduction	199.94

Shire of Wandering
List of Accounts for Payments for August 2023

Chq/EFT	Date	Name	Description	Amount
DD4456.5	29/08/2023	Australian Super	Superannuation contributions	(1,104.65)
DEDUCTION	29/08/2023	Australian Super	Payroll Deduction	164.97
SUPER	29/08/2023	Australian Super	Payroll Deduction	939.68
DD4456.6	29/08/2023	HostPlus Super Fund	Superannuation contributions	(266.75)
DEDUCTION	29/08/2023	HostPlus Super Fund	Payroll Deduction	63.51
SUPER	29/08/2023	HostPlus Super Fund	Payroll Deduction	203.24
DD4456.7	29/08/2023	AMP Superannuation Savings Trust	Superannuation contributions	(417.34)
DEDUCTION	29/08/2023	AMP Superannuation Savings Trust	Payroll Deduction	99.37
SUPER	29/08/2023	AMP Superannuation Savings Trust	Payroll Deduction	317.97
DD4456.8	29/08/2023	MLC Masterkey	Superannuation contributions	(293.07)
DEDUCTION	29/08/2023	MLC Masterkey	Payroll Deduction	69.78
SUPER	29/08/2023	MLC Masterkey	Payroll Deduction	223.29
DD4456.9	29/08/2023	CBUS	Superannuation contributions	(198.14)
SUPER	29/08/2023	CBUS	Payroll Deduction	198.14
DD4427.10	02/08/2023	AMP Superannuation Savings Trust	Superannuation contributions	(317.97)
SUPER	02/08/2023	AMP Superannuation Savings Trust	Payroll Deduction	317.97
DD4441.10	16/08/2023	AMP Superannuation Savings Trust	Superannuation contributions	(365.17)
SUPER	16/08/2023	AMP Superannuation Savings Trust	Payroll Deduction	365.17
DD4456.10	29/08/2023	Prime Super	Superannuation contributions	(283.09)
SUPER	29/08/2023	Prime Super	Payroll Deduction	283.09

TOTAL

(301,500.49)

13.3 Update to Fees and Charges – Hire of Grader for Private Works Purposes

File Reference:	11.111.11101
Location:	Nil
Applicant:	Shire of Wandering
Author:	Helen Herbert, Technical Services Administration Officer
Authorising Officer	Karl Mickle, Operations Manager
Date:	8 September 2023
Disclosure of Interest:	Nil
Attachments:	Nil
Previous Reference:	Item 13.3 Ordinary Council Meeting 20 July 2023 – adoption of fees and charges

Summary:

To amend adopted Fees and Charges for the hire of the Grader for Private Works purposes.

Background:

The 2023/24 Shire Fees and Charges were adopted at the Ordinary Council Meeting of 20 July 2023. The fee for hire of the Grader was inadvertently omitted.

Comment:

The fee for hire of the Grader includes the operator and is proposed as follows:

	Normal Time	Time & a Half	Double Time
Grader Hire (per hour or part thereof)	\$225.00	\$249.50	\$272.00

Consultation:

Alan Hart, CEO
Karl Mickle, Operations Manager

Statutory Environment:

Local Government Act 1996

Policy Implications:

Nil.

Financial Implications:

The Shire has no existing fee for the hire of the grader.
Minor cost to potential income from hire of the grader.

Strategic Implications:

Provide Strong Leadership

Our Goals	Our Strategies
We plan for the future and are strategically focused	Ensure accountable, ethical and best practice governance Develop and maintain our Asset Management Plan

Improve our Financial Position

Our Goals	Our Strategies
The Wandering Shire is financially sustainable	Improve accountability and transparency

Sustainability Implications:

- Environmental: There are no known significant environmental considerations
- Economic: There are no known significant economic considerations
- Social: There are no known significant social considerations

Risk Implications:

Nil

Voting Requirements:

Absolute Majority

Officer Recommendation:

That Council, pursuant to s6.16 of the *Local Government Act 1995*, imposes the following fee for the hire of the grader (and operator) for Private Works purposes, and authorises the CEO to give local public notice of same:

	Normal Time	Time & a Half	Double Time
Grader Hire (per hour or part thereof)	\$225.00	\$249.50	\$272.00

Moved: _____

Seconded: _____

For/Against: Cr Turton Cr Treasure Cr Hansen Cr Little Cr Parsons Cr Watts

14 Planning and Technical Services

14.1 Development Application – Lot 4 Mellows Road, Wandering

File Reference:	PA346
Location:	Lot 4 Mellows Road, Wandering
Applicant:	Densie Frances Terry
Author:	Lilian Yek c/- Altus Planning (Shire’s Town Planning Consultant)
Authorising Officer	Alan Hart – Chief Executive Officer
Date:	3 August 2023
Disclosure of Interest:	Nil
Attachments:	Attachment 1 – Proposed Site and Development Plans Attachment 2 – Bushfire Attack Level (BAL) Assessment Attachment 3 – Bushfire Management Plan (BMP)
Previous Reference:	N/A

Summary:

The Shire has received a development application seeking approval to construct a new single dwelling, comprising of four (4) bedrooms, two (2) bathrooms, a laundry, office, activity space, kitchen and living area. The proposal also includes a detached two (2)-vehicular bay carport in front of the dwelling and a new outbuilding to the rear of the site (proposed development or proposal). The proposal is located at Lot 4 Mellows Road, Wandering (subject site or site).

The proposal satisfies the applicable provisions of Town Planning Scheme No. 3, except in relation to:

- 5.16.1 Building Setbacks

The proposed single dwelling and its associated outbuildings have been assessed as demonstrating compliance with the applicable planning requirements. Given the subject site is within bushfire prone area, consideration has been given to the proposal’s ability to meet bushfire requirements. At the time of assessment, some vegetation clearing has occurred on site.

The assessment has concluded that development approval is recommended, subject to conditions.

Background:

The subject site is located approximately 3.5km north-west of the Wandering Townsite and measures approximately 2.0238ha. The subject site is bounded by Mellows Road to the east and is adjoined by similar sized rural residential properties to the south and west. A larger rural residential lot adjoins the northern boundary of the subject site.

Access to subject site is via Mellows Road where it ends at a cul-de-sac slightly north of site. The subject site is currently vacant with clusters of vegetation through the middle of the site. It is noted that at the point of assessment, the Applicant has commenced clearing a portion of the subject site within the proposed dwelling’s Asset Protection Zone (APZ).

A locality plan is provided at Figure 1 and the proposed development plans are provided as Attachment 1.



Figure 1: Subject site and locality (Source: Landgate 2023).

Town Planning Scheme No. 3

The subject site is zoned 'Rural Residential' under Shire of Wandering Town Planning Scheme No. 3 (TPS3 or Scheme). The objectives for the 'Rural Residential' zone are provided at Clause 4.2(4) of the Scheme and state as follows:

- a) *to select areas wherein closer subdivision will be permitted to provide for such uses as hobby farms, horse breeding, rural-residential retreats, and rural-based commercial uses that are consistent with a rural residential zone.*
- b) *to generally select areas that are within approximately 8 kilometres of the town of Wandering to facilitate the provision of services to residents.*
- c) *to make provision for retention of the rural landscape and amenity in a manner consistent with the orderly and proper planning of such areas.*
- d) *having regard for the size of the district, the fragile nature of the environment in many places, and the difficulties faced by the local government in providing services away from the town of Wandering, the local government will generally favour Rural-Residential zones be located close to the town of Wandering and then only where the environmental impacts are manageable.*

With respect to the above, objective c) is considered relevant to this application and the proposal is considered to be consistent with the objectives of the zone.

The proposed 'Single Dwelling' is a 'P' or permitted use within the Rural Residential zone. The associated outbuilding (shed) and carport can be considered in conjunction with the application for the single dwelling. Clause 5.16 of the Scheme sets out various standards for development that is applicable within the 'Rural Residential' zone.

Clause 5.16.1 provides the applicable building setback requirements:

Requirement	Proposed
The minimum building setbacks shall be: Front: 30.0m Rear: 10.0m Side: 10.0m	Front: 27.9m Rear: 10m Side: 10m

Notwithstanding the non-compliances cited above, Clause 5.5.1 of the Scheme provides the Shire with the discretion to approve an application that does not comply with a standard or requirement prescribed by the Scheme.

It is considered appropriate to exercise this available discretion for the following reasons:

- The encroachment on the front setback is to do with the proposed detached carport and is considered minor in nature. All other proposed building complies with the setback requirements.
- The proposed dwelling has a front setback of 43.7m.
- The proposed carport for two (2) car parking bays is considered of a minor scale and does not present itself to be adversely impacting the amenity or rural character of the locality.

An assessment of the proposal against the provisions of Clause 5.16.3 is provided within the table below.

Clause 5.16.3 - Development Requirements	
Development in a Rural-Residential Zone shall comply with the requirements of the following	
Provision	Comment
a) <i>Planning approval is required for all development including a single house and such application shall be made in accordance with the Scheme.</i>	The proposal is for a single dwelling, carport and an outbuilding, and an application has been made in accordance with the Scheme.
b) <i>Not more than one dwelling per lot shall be erected but the local government may, at its discretion, approve ancillary accommodation.;</i>	No more than one dwelling has been proposed.
c) <i>In order to conserve the rural environment or features of natural beauty all trees shall be retained unless their removal is authorised by the local government.</i>	<p>The proposed dwelling and carport is located in a vegetated portion of the land. Given that clearing of land is required to provide an adequate APZ, considerations were being given as to whether alternative locations can be considered.</p> <p>Whilst it was considered whether the dwelling can be relocated to the cleared portion of the land, given the significant topography difference of almost 6m on that portion of site, any attempt to cut or fill the land would result in considerable amount of earthworks. This would contradict with the objectives of the zone in respect to retention of rural landscape.</p> <p>In addition, at the time of assessment, it was made known by the Applicant that clearing of vegetation within the proposed APZ has already commenced.</p> <p>Bushfire protection and environmental preservation are often competing interests, however in this instance the vegetation</p>

	removal/modification is required to provide for an appropriate Bushfire Attack Level (BAL) rating for a 'P' use. As a result, it is recommended that a revegetation plan be prepared as a condition of approval which would seek to offset some of the vegetation lost and retain the existing character.
d) <i>In order to enhance the rural amenity of the land in areas the local government considers deficient in tree cover it may require as a condition of any planning approval the planting of such trees and/or groups of trees and species as specified by the local government.</i>	As per the above, a revegetation plan is recommended as a condition of approval.
g) <i>The local government may require provision to be made for bush fire control in accordance with a Local Planning Policy adopted by the local government.</i>	A BAL assessment and a Bushfire Management Plan (BMP) were provided with the application. A condition of approval has been recommended to ensure the requirements of the BMP are implemented.

Clause 5.16.4 sets out the development standard for Rural Residential zone, the assessment of proposal as per table below.

Clause 5.16.4 - Development Standard	
So as to achieve a high standard of development within a Rural-Residential zone, and to minimise the visual impacts of development the local government in considering an application for planning approval will have regard to clause 10.2 and the following:	
Provision	Comment
a) <i>the colour and texture of external building materials;</i>	<p><u><i>Proposed Dwelling</i></u> Materials of construction comprise of brickwork, linear cladding, and Colorbond roof sheeting. The proposed cladding is intended to be white and non-reflective in nature. No colour has been provided for the roof sheeting.</p> <p><u><i>Proposed Carport</i></u> The carport comprises of a steel frame and Colorbond roof sheeting. No colour has been provided for the roof sheeting.</p> <p><u><i>Proposed Outbuilding</i></u> The Applicant has expressed that the proposed outbuilding is intended to be staged for future development. No colour has been provided in this instance. Materiality of the shed is indicated to be Colorbond.</p> <p>Whilst it is unclear the colour of proposed materials, it is noted that these can be conditioned as part of the approval. The materials themselves are considered appropriate and consistent with the rural character of the locality.</p>
b) <i>building size, height, bulk, roof pitch;</i>	<p>The proposal consists of a two-storey single dwelling, a carport and an outbuilding.</p> <p>The proposed dwelling is indicated to be approximately 392sqm in area and has a relatively small footprint for a lot size of over 2ha. The main dwelling has a pitched roof of 25 degrees with a total wall height of 5.057m.</p>

	<p>The proposed carport measures 7.5m x 7.5m, making a total area of 56.25sqm. The proposed carport has a roof pitch of 15 degrees and wall height of 2.536m.</p> <p>The proposed outbuilding measures 8m x 10m, making a total area of 80sqm. No further details are provided in regard to height. A condition of approval is recommended that the outbuilding does not exceed a wall height of 4.2m and a ridge height of 5.4m, consistent with the Shire’s Local Planning Policy No. 1 – Sheds and Outbuildings (LPP1).</p> <p>The proposed building size, height, bulk and roof pitch is considered appropriate for the Rural Residential Zone.</p>
c) <i>setback and location of the building on its lot;</i>	<p>The proposed development meets all setback requirements except for the proposed carport which is setback 27.9m instead of the 30m setback requirement. As previously mentioned however, discretion is available to consider such a variation and given it relates to a lightweight structure, the proposed setback is not considered to result in any adverse amenity impacts.</p> <p>It is noted that the proposed dwelling has a front setback of 43.7m and therefore meets the setback requirement.</p>
d) <i>architectural style and design details of the building;</i>	<p>The proposed dwelling has a typical rural architectural style featuring a pitch roof, weatherboard and brick cladding.</p>
e) <i>relationship to surrounding development; and</i>	<p>Being surrounded by similar sized rural residential lots, the proposal is considered to be consistent with the characteristics of its surrounding locality.</p>
f) <i>other characteristics considered by the local government to be relevant.</i>	<p>None have been noted.</p>

Further consideration has to be given to Clause 10.2. It is noted that Clause 10.2 has been superseded by Deemed Provisions Clause 67. Consideration for Deemed Provisions Clause 67 are discussed in the section further below.

State Planning Policy 3.7 - Planning in Bushfire Prone Areas

State Planning Policy 3.7 - Planning in Bushfire Prone Areas (**SPP3.7**) has been prepared by the Western Australian Planning Commission (**WAPC**) to implement effective, risk-based land use planning and development to preserve life and reduce the impact of bushfire on property and infrastructure.

The subject site is designated as a 'Bushfire Prone Area' as per the Department of Fire and Emergency Services Map of Bushfire Prone Areas, refer Figure 2 below.



Figure 2: Map of Bushfire Prone Area

As part of the application, the Applicant engaged a Bushfire Practitioner to prepare a BAL Assessment to determine the level of risk which exists. This assessment was undertaken on 27 July 2023 by WA Fire & Safety in accordance with AS 3959 – 2018. The determined BAL for the site/proposal was BAL-FZ which is considered high risk and hazardous. A copy of the BAL Assessment can be found at Attachment 2.

Accordingly, the BAL Assessment determined that the dwelling is capable of achieving a rating of BAL-29 for all elevations based on the maintenance of an APZ. Specifically, a 27m wide APZ has been recommended as per the BAL Report.

Consistent with policy provision 6.5 of SPP3.7 and the explanatory notes within Appendix Four of the *Guidelines for Planning in Bushfire Prone Areas Version 1.4 (Guidelines)*, a BMP is recommended.

A BMP has been prepared on 25 August 2023 by WA Fire & Safety and submitted by the Applicant (refer to Attachment 3). The APZ has to be maintained in perpetuity to ensure a maintenance of the BAL-29 rating. This is to be maintained in accordance with Schedule 1 of the SPP3.7 Guidelines and the Local Government Authority Firebreak Notice (in accordance with *Bush Fires Act 1954*). Other bushfire management strategies for the subject site shall be installed and maintained in accordance with Section 5.0 and Section 6.0 of the BMP.

It is noted that not all trees within APZ will be required to be removed, provided that the tree canopies at maturity do not exceed 15 per cent of the APZ area and have a separation distance of 5m apart from tree canopy(ies) outside of the APZ.

However, given the extensive clearing that will be required with the maintenance of APZ, a revegetation plan is recommended. This is considered appropriate having regard to the objectives of the 'Rural Residential' zone and clause 67 (2) (p) of the Deemed Provisions in relation to the preservation of vegetation and retention of rural landscape and amenity.

It is also noted that there is currently no notification on title advising that the property is within a bushfire prone area. Accordingly, a condition of approval requiring a notification to be placed on title is being recommended, consistent with policy provision 6.10 of SPP3.7.

Local Planning Policy 1 – Sheds and Outbuildings Policy

LPP1 provides exemptions for outbuildings requiring planning approval within Rural Residential zone where they meet clause 1 (d) of the Policy Statement.

As an application for development approval has been submitted, this policy is not considered applicable to the assessment of the proposal. Notwithstanding this, it is noted that the aggregate of outbuildings will not exceed 120sqm and a condition of approval is recommended to ensure that the wall and ridge heights are aligned with LPP1.

Planning and Development (Local Planning Schemes) Regulations 2015

Deemed Provisions – CI 67 Matters to be considered by Local Government.

Deemed Provisions – CI 67 Matters to be considered by Local Government	
Provision	Comment
(a) the aims and provisions of the Scheme and any other relevant town planning scheme operating within the Scheme Area;	The proposal is consistent with the objectives of the ‘Rural Residential’ zone under TPS3.
(c) any approved State planning policy;	The proposal is consistent with SPP3.7, subject to the installation and maintenance of bushfire management measures as per the BMP submitted.
(m) the compatibility of the development with its setting;	The proposal is of a single dwelling with associated outbuildings that are consistent with the characteristic of a Rural Residential zone.
(n) the amenity of the locality;	Given the extensive vegetation on the site, and the acceptable scale, height and bulk of proposed dwelling, it can be considered that the proposal does not impact the amenity of the locality. Clearing on the subject site intended for the maintenance of APZ can be addressed by having a revegetation plan as a condition of approval.
(o) the likely effect of the proposal on the natural environment or water resources and any means that are proposed to protect or to mitigate impacts on the natural environment;	It is noted that at the time of assessment, a portion of the land has been cleared within proposed APZ. Whilst the removal of vegetation is not encouraged, considerations have been given as to whether relocation of dwelling would produce greater negative impact to the environment. Should the dwelling be relocated to the rear of site, extensive earthworks will be required due to the topography of land. In addition, clearing will also be required to construct an approximate 100-150m long access driveway to the dwelling with sufficient turning point for bushfire compliance. As such, consideration was being given to the bushfire management practice and is considered an acceptable solution to meet policy requirements.
(p) whether adequate provision has been made for the landscaping of the land to which the application relates and whether any trees or other vegetation on the land should be preserved;	Given the consideration for bushfire reasons, as outlined above, a revegetation plan is recommended to offset the required clearing for the APZ.

(q) whether the land to which that application relates is unsuitable for the proposal by reason of it being, or likely to be, subject to flooding, tidal inundation, subsidence, landslip, bush fire or any other risk;	The application underwent a BAL Assessment to determine risk, given the site is within Bushfire Prone area. The BAL Assessment confirmed a BAL-29 is achievable subject to maintenance of an APZ which is considered acceptable for development.
(s) the adequacy of the proposed means of access to and egress from the site; and arrangements for the loading, unloading, manoeuvring and parking of vehicles;	The proposed car parking, access and manoeuvrability for vehicles has been assessed and is considered appropriate for the proposed development.
(y) any submissions received on the application;	The application was not referred to consultation due to the relatively minor nature of setback encroachment by the proposed carport.

Consultation:

No consultation was made with the surrounding neighbours.

Statutory Environment:

Planning and Development Act 2005

Planning and Development (Local Planning Schemes) Regulations 2015

Shire of Wandering Total Planning Scheme No. 3

State Planning Policy 3.7: Planning in Bushfire Prone Areas

Policy Implications:

Nil

Financial Implications:

Costs may be incurred by the Shire if the landowner requests a review of the determination from the State Administrative Tribunal (**SAT**).

Strategic Implications:

Improve the Economic Growth of our Community

Our Goals	Our Strategies
Facilitate increased business opportunities	Ensure our planning frame work and environment supports nimble decision making and gives confidence to developers

Retain and Grow our Population

Our Goals	Our Strategies
Our permanent and transient population grows	We promote the lifestyle and business opportunities

Sustainability Implications:

- Environmental: There are no known significant environmental considerations.
- Economic: There are no known significant economic considerations.
- Social: There are no known significant social considerations.

Voting Requirements:

Simple Majority

Officer Recommendation:

That Council approves the application for development approval, submitted by Denise Terry, for the development of a single dwelling, carport and an outbuilding at Lot 4 Mellows Road, Wandering, subject to the following conditions:

Conditions:

1. The development hereby approved shall occur in accordance with the plans and specifications submitted with the application and these shall not be altered or modified without the prior written approval of the Council.
2. Non-reflective natural colours which blend with the natural landscape, to the satisfaction of the Shire, being used on the roof and external walls of all buildings except for rainwater tanks, which shall be screened from view by tree planting to the satisfaction of the Shire.
3. The outbuilding shall not exceed a wall height of 4.2m or a ridge height of 5.4m, unless further development approval is obtained from the Shire.
4. The outbuilding is not to be used for industrial or commercial purposes and is not to be used for human habitation.
5. All stormwater generated by the proposed development shall be managed and disposed of to the specifications and satisfaction of the Shire.
6. Satisfactory building plans being approved by the Shire.
7. Compliance with the relevant Health Regulations to the satisfaction of the Environmental Health Officer.
8. A notification under Section 70A of the Transfer of Land Act 1983 shall be prepared and lodged with the Registrar of Titles for endorsement on the Certificate of Title prior to the commencement of the approved development. The notification shall advise of the existence of a hazard or other factor affecting use or enjoyment of the land to the satisfaction of the Shire and at the applicant's cost. The notification memorial shall state as follows:

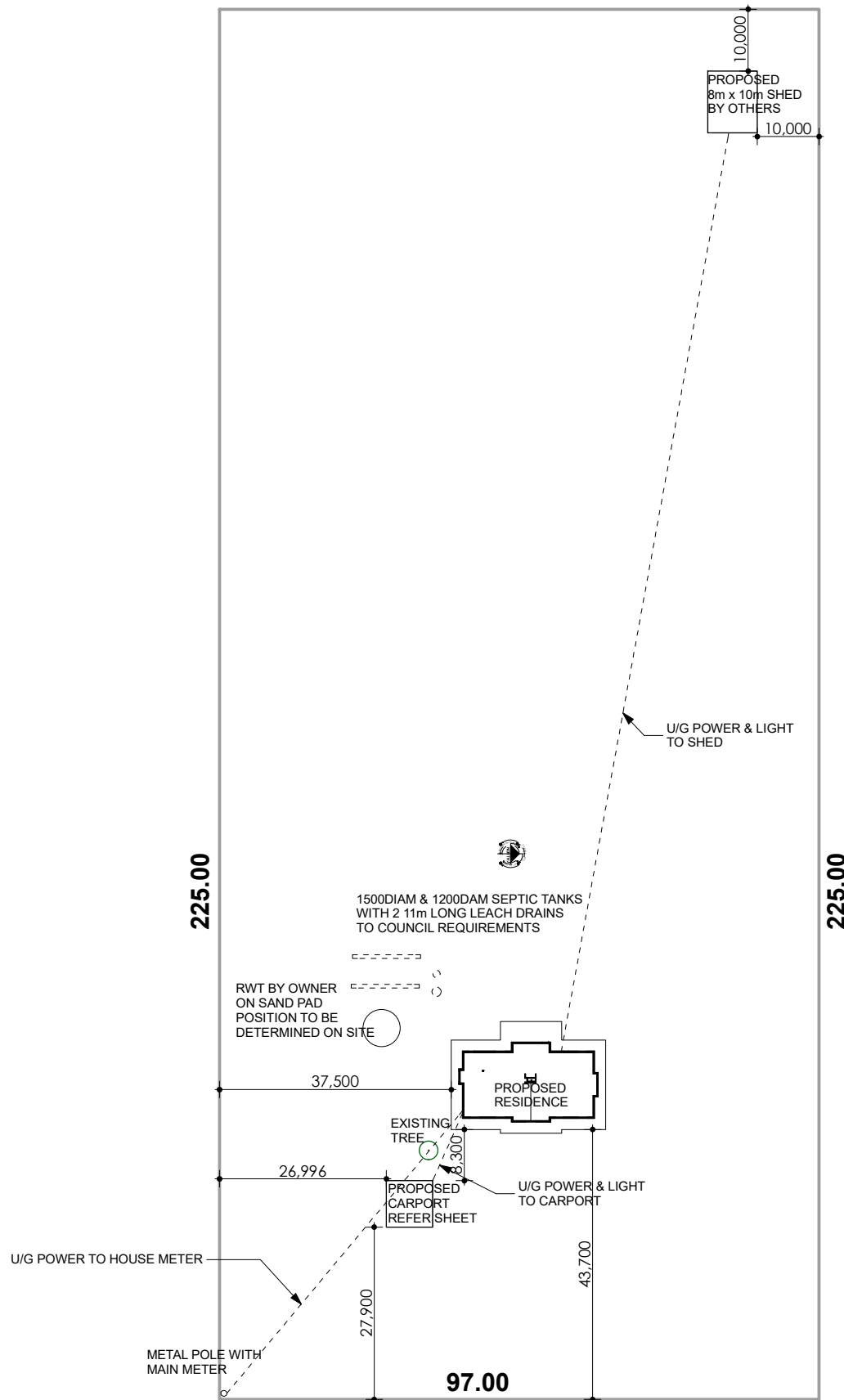
'Registered proprietors and prospective purchasers of the land described above or any part thereof (land) are notified that the land is within a bushfire prone area and buildings shall be designed and constructed in accordance with Australian Standard 3959 - Construction of Buildings in Bushfire-Prone Areas (or superseded Australian Standard) and comply with any approved fire management plan prepared in respect of the land to minimise the risk of property damage.'
9. Prior to a Building Permit being granted, a revegetation plan is to be provided to the satisfaction of the Shire. Such a plan shall indicate all existing trees and specify those trees to remain and those to be removed. It shall also indicate details of proposed revegetation planting. An endorsed copy of this plan shall form part of this approval and shall thereafter be implemented.

Moved: _____

Seconded: _____

Carried

For/Against: Cr Turton Cr Treasure Cr Hansen Cr Little Cr Parsons Cr Watts



MELLOWS ROAD

O/A SITE PLAN
1:1000

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 Member

CLIENT(S):
DENISE TERRY

ADDRESS:
4 MELLOWS ROAD WANDERING 6308

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COUNCIL:
WANDERING

REV	DETAILS	DWN	DATE	CHK
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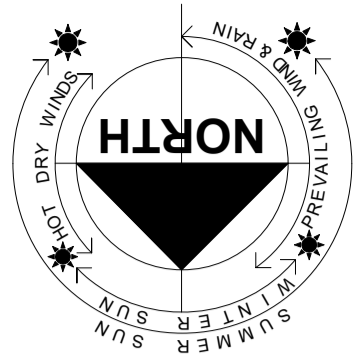
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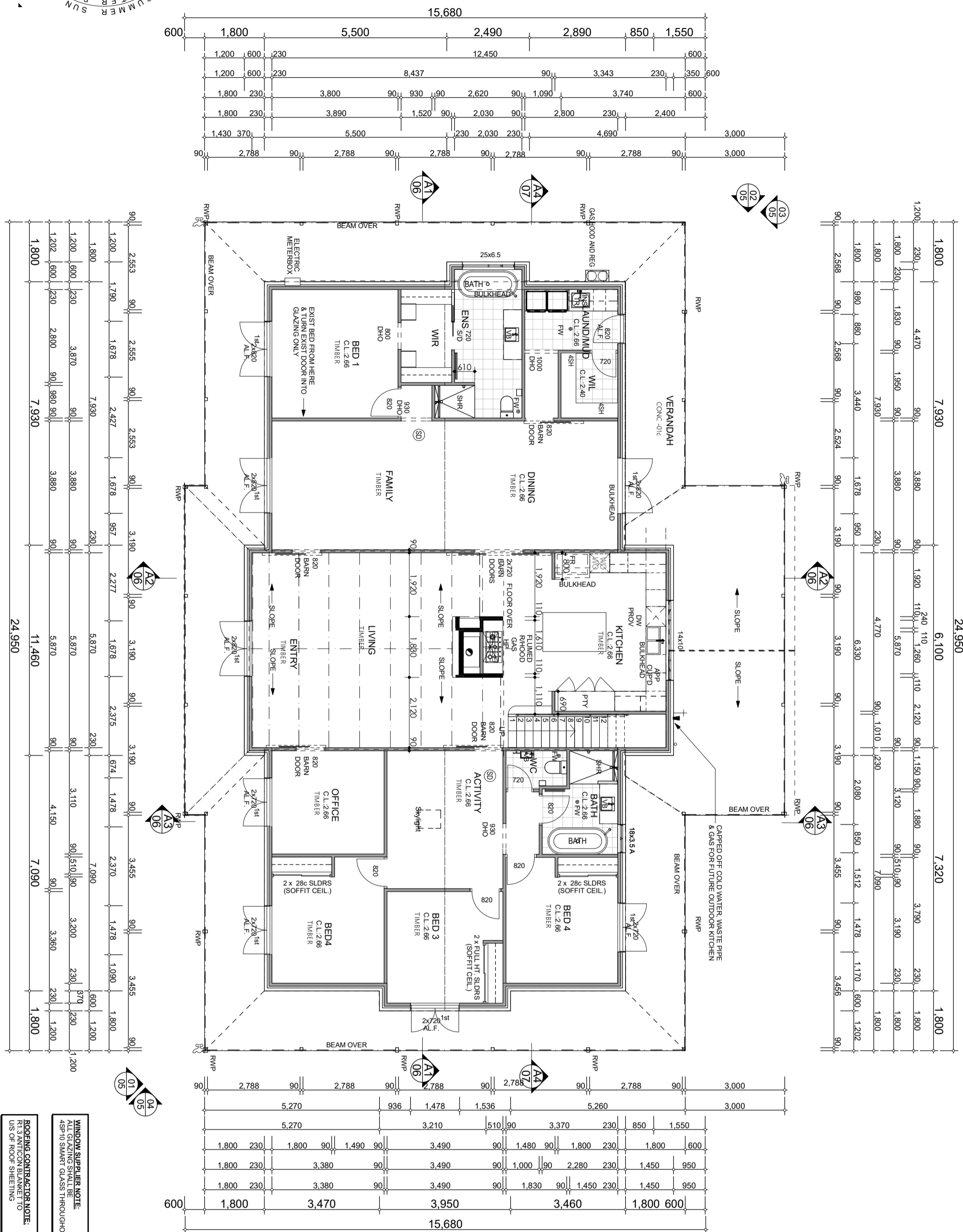
JOB NO: **2325**

Drawing No: _____

01 of 9
63



GROUND FLOOR
1:100



ROOFING CONTRACTOR NOTE:
R1.3 ANTICON BLANKET TO US OF ROOF SHEETING

WINDOW SUPPLIER NOTE:
45P10 SMART GLASS THROUGHOUT

NOTE: TO SCALE ON A2 SHEET

TERMITE & EHB NOTE:
TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 AND BCA PART 3.1.4 SPECIFICATION AS PER MANUFACTURER'S DETAIL.
GLAZING TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS 1288 AND PART 3.6.0 OF CURRENT NCC/BCA REQUIREMENTS
BALUSTRADE TO COMPLY WITH BCA 3.9.2

ROOF BEAMS ARE SHOWN DIAGRAMATICALLY ONLY
110 STANDARD BRICK WITH 90 STEEL FRAME WITH SELECTED SCYON FINISH EXTERNALLY.
INTERNALLY FLUSH PLASTERBOARD.

ALL DIMENSIONS TO FRAME SIZE ONLY, NOT FINISHED SIZES
WINDOWS SHOWN ON PLANS TO BE SLIDING UNLESS OTHERWISE NOTED
LIFT OFF HINGES TO WC DOORS
FLOOR WASTES & CEILING VENTS SHOWN DIAGRAMATICALLY ONLY.

R2.5 CAVITY INSULATION TO ENTIRE EXTERNAL WALLS OF HOUSE
PROVIDE R4.1 CEILING INSULATION TO ENTIRE HOUSE AREA INCLUDING FIRST FLOOR SUBFRAME
ALL EXHAUST FANS TO BE DRAUGHT SEALED WITH DAMPERS
WEATHER STRIPPED FRONT ENTRY DOOR FRAME

DO NOT SCALE FROM DRAWINGS
DIMENSIONS MUST BE FOLLOWED AND CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS.
CEILING LEVEL 31c + PLATE UNLESS OTHERWISE NOTED.
DOWN PIPES TO SUIT ROOF WATER VOLUME TO BE LOCATED AT PLUMBERS DISCRETION

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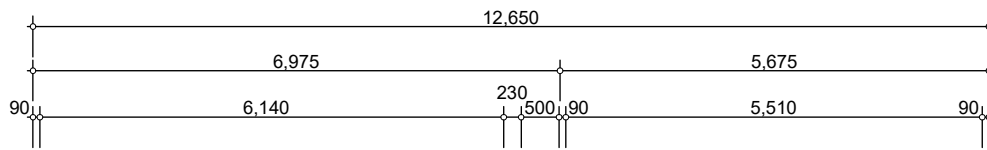
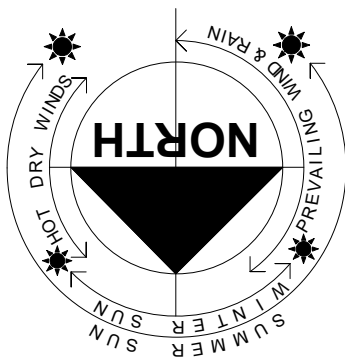
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ACCREDITED MEMBER BUILDING DESIGNER

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ADDRESS: 4 MELLOWS ROAD WANDERING 6308

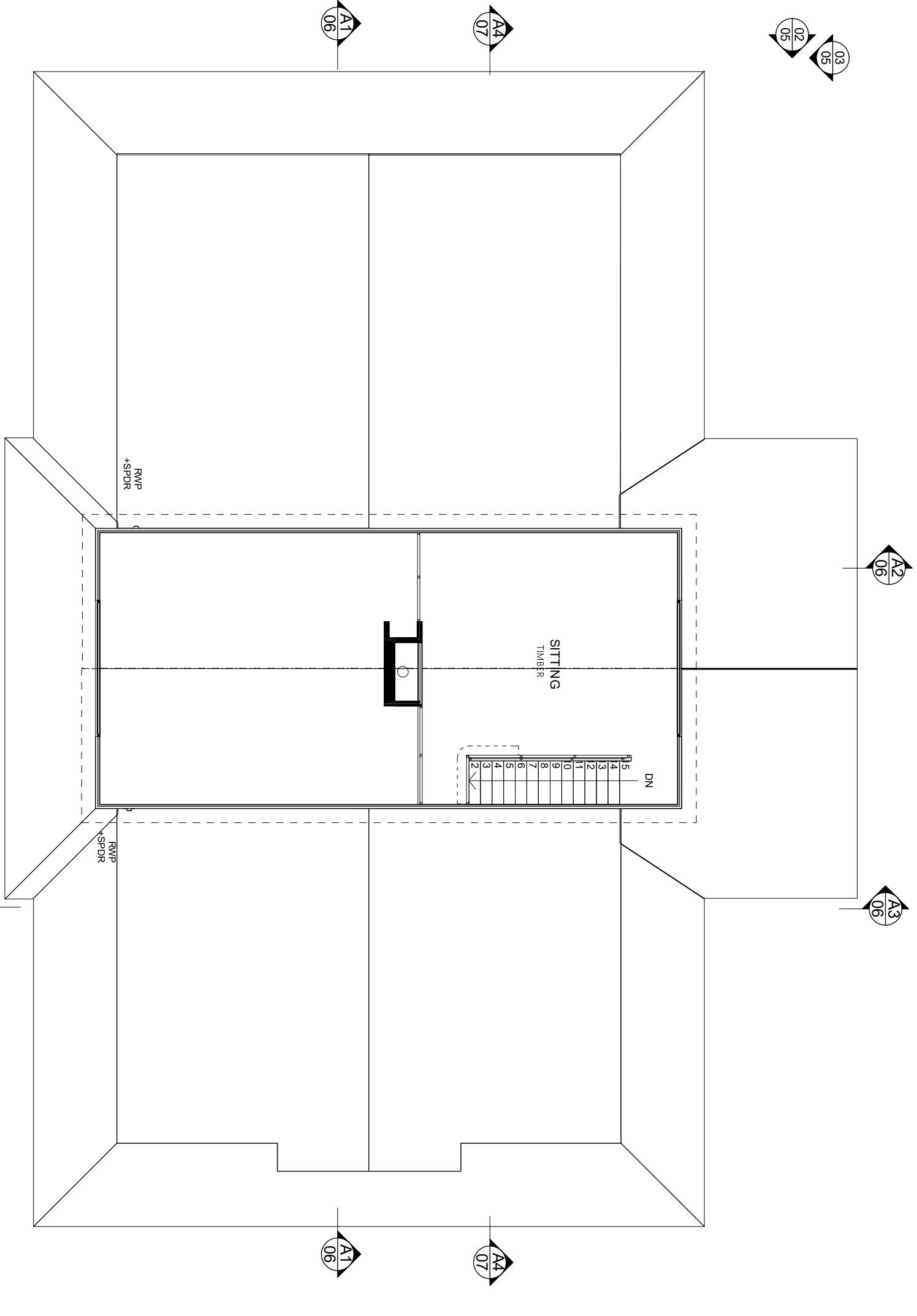
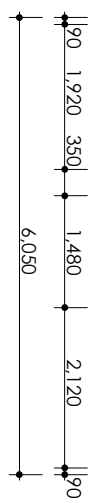
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AREA	PERIM.	COUNCIL:
GR. FLOOR	249.12	WANDERING
FIRST FL	30.68	
VERANDAH	147.84	
		REV DETAILS DWN DATE CHK
		01 CONTRACT - 00-00-00 -
TOTAL AREA	427.64 m²	
G.FL ROOF AREA	323.35 m ²	
UP.FL ROOF AREA	88.42 m ²	

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Scale: 1:100 Date: MAY 2021
Status: WORKING DRAWINGS
JOB NO: 2325
Drawing No: 02 of 9



FIRST FLOOR
1:100



ROOFING CONTRACTOR NOTE:
R13 ANTI-CON BLANKET TO US OF ROOF SHEETING

WINDOW SUPPLIER NOTE:
ALL GLAZING SHALL BE 4SP-10 SMART GLASS THROUGHOUT

TERMITE & EHB NOTE:
TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 AND BCA PART 3.1.4 SPECIFICATION AS PER MANUFACTURER'S DETAIL.
GLAZING TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS 1288 AND PART 3.6.0 OF CURRENT NCC/BCA REQUIREMENTS
BALUSTRADE TO COMPLY WITH BCA 3.9.2

ROOF BEAMS ARE SHOWN DIAGRAMATICALLY ONLY
110 STANDARD BRICK WITH 90 STEEL FRAME WITH SELECTED SCYON FINISH EXTERNALLY.
INTERNALLY FLUSH PLASTERBOARD.

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FIRST FL	30.68			Scale: 1:100			
VERANDAH	147.84			Date: MAY 2021			
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TOTAL AREA	427.64 m²						
G.FL ROOF AREA	323.35 m ²						
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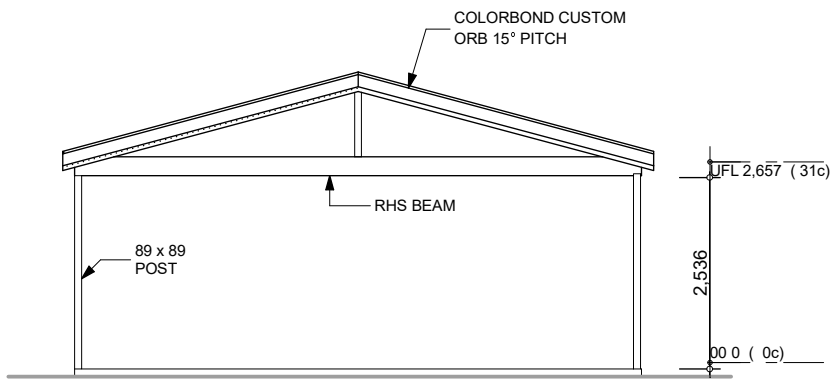
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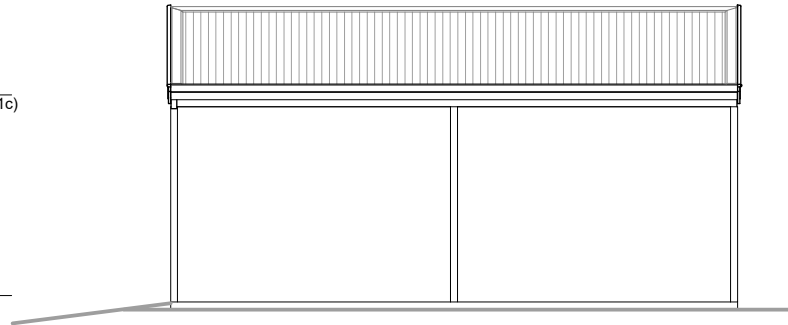
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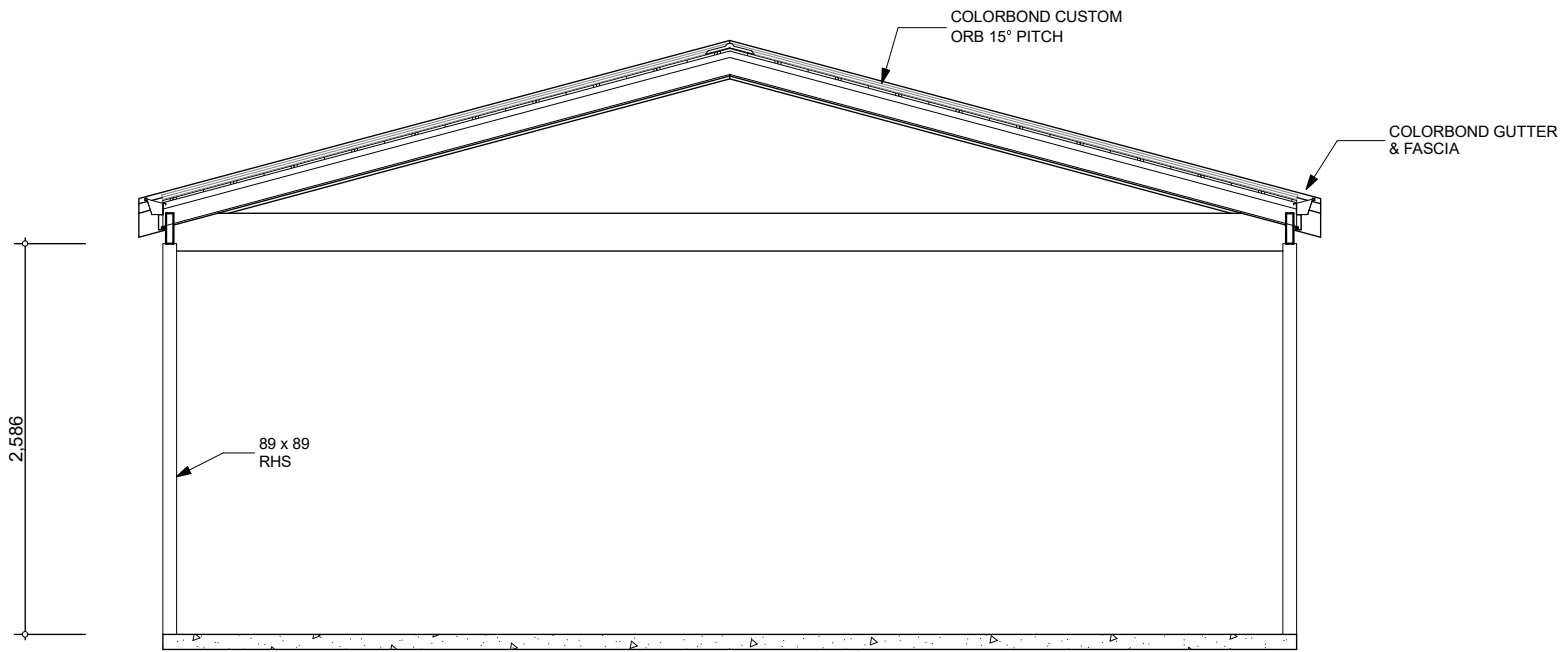
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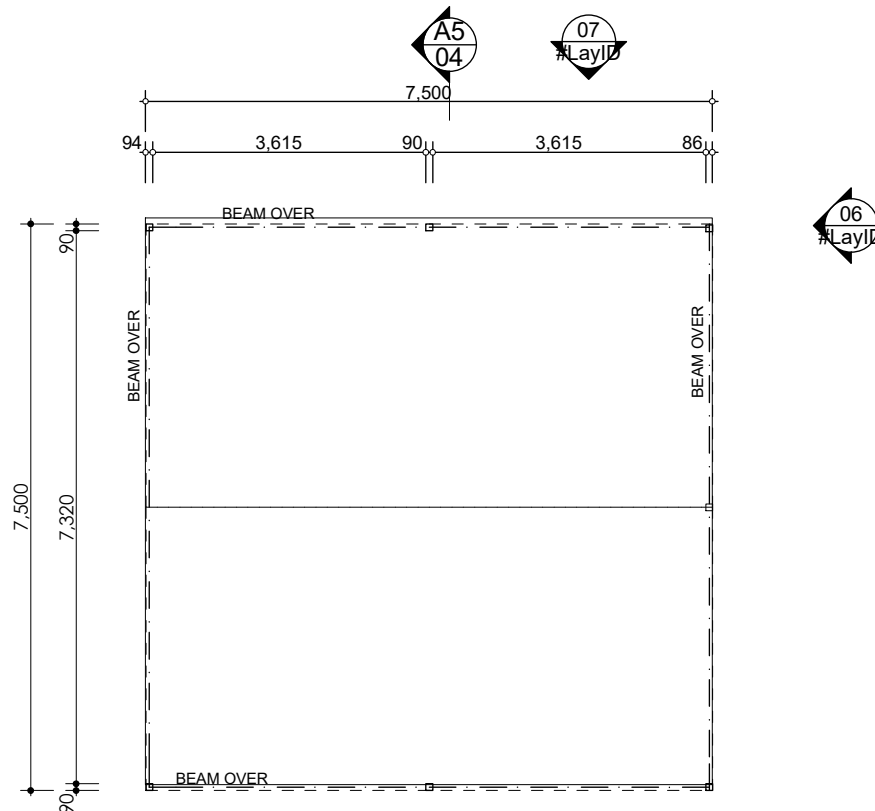
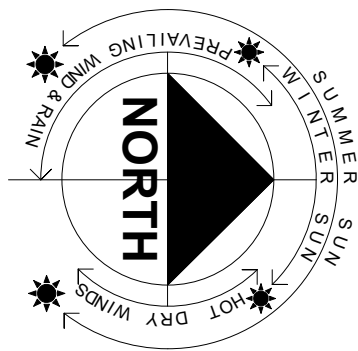
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1:100



ELEVATION 7
1:100



A5 SECTION
1:50



CARPORT FLOOR PLAN
1:100

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WANDERING

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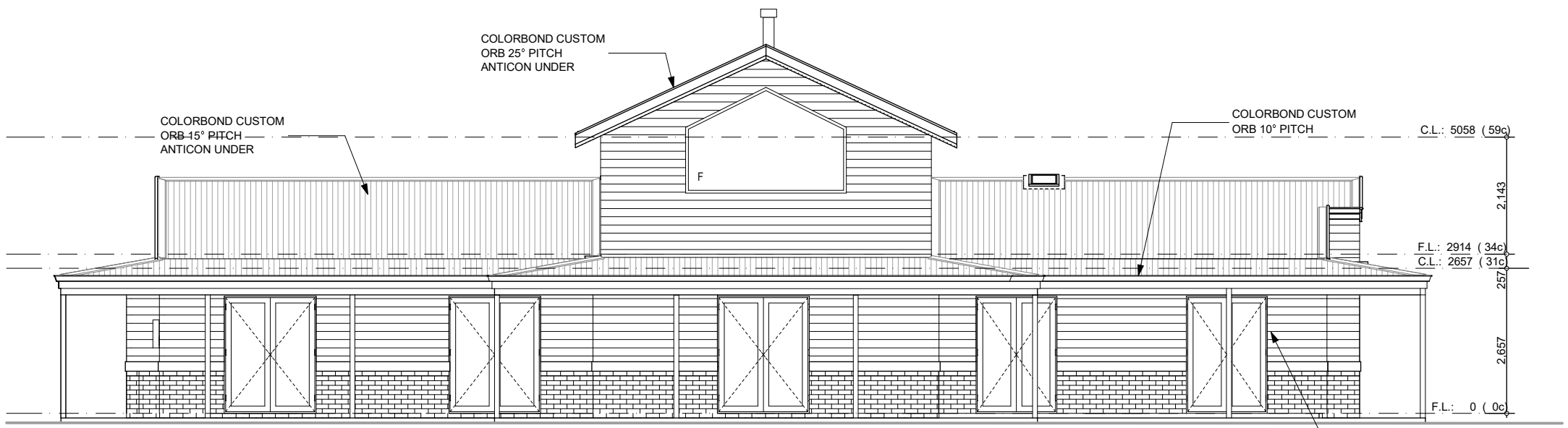
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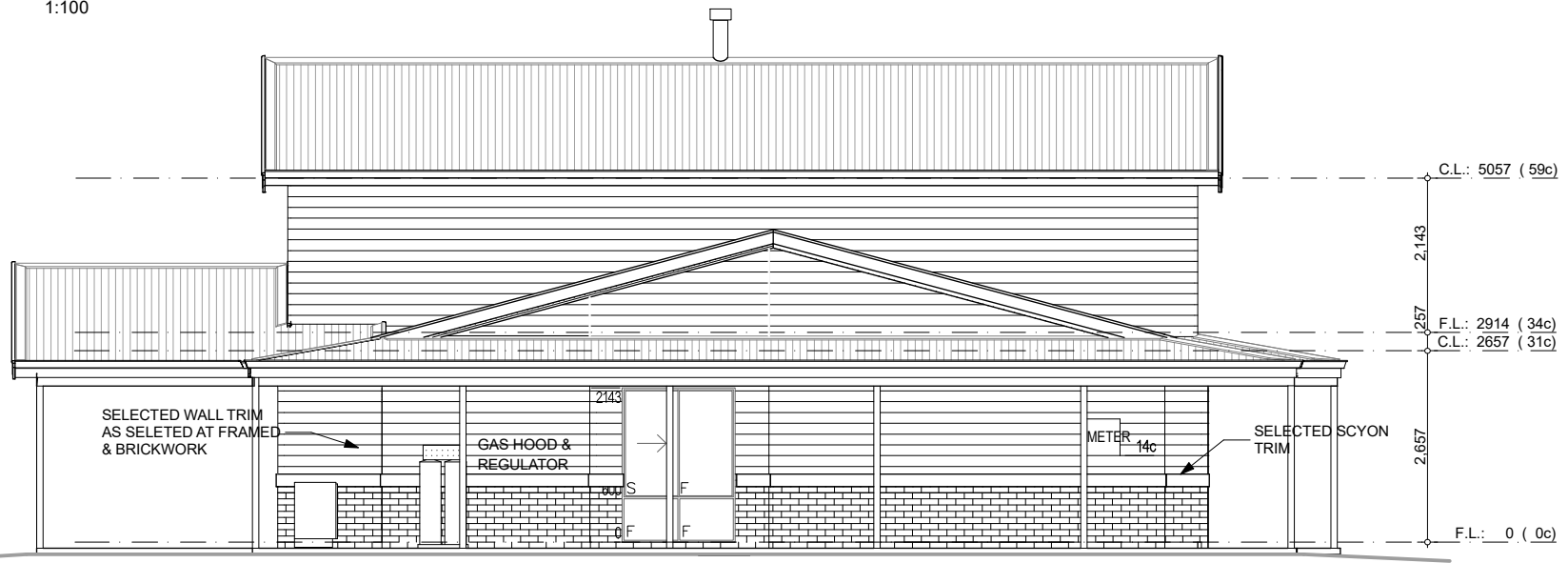
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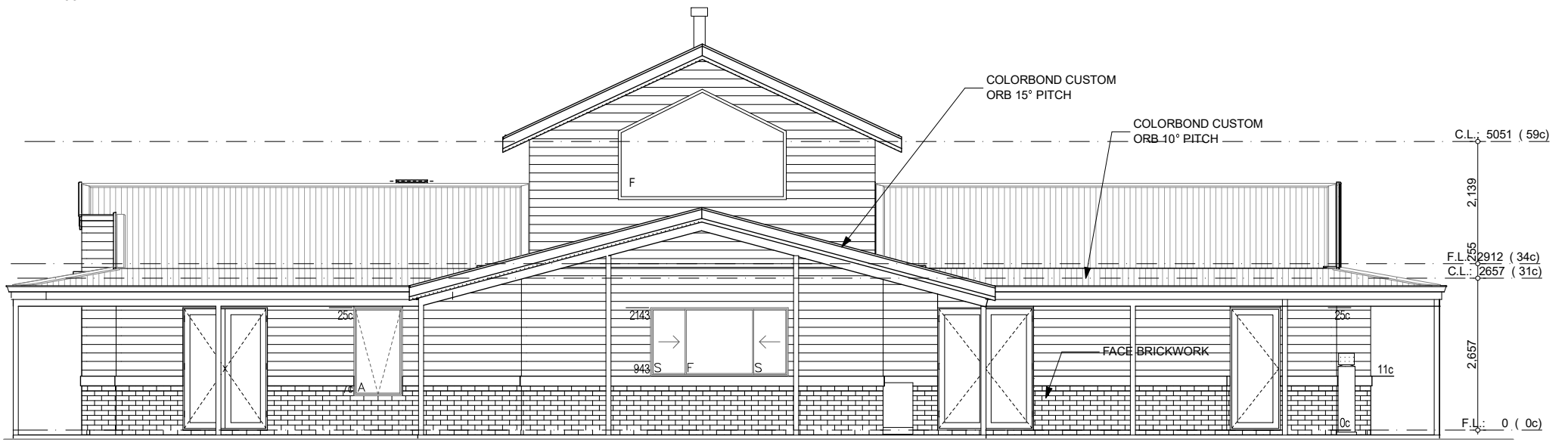


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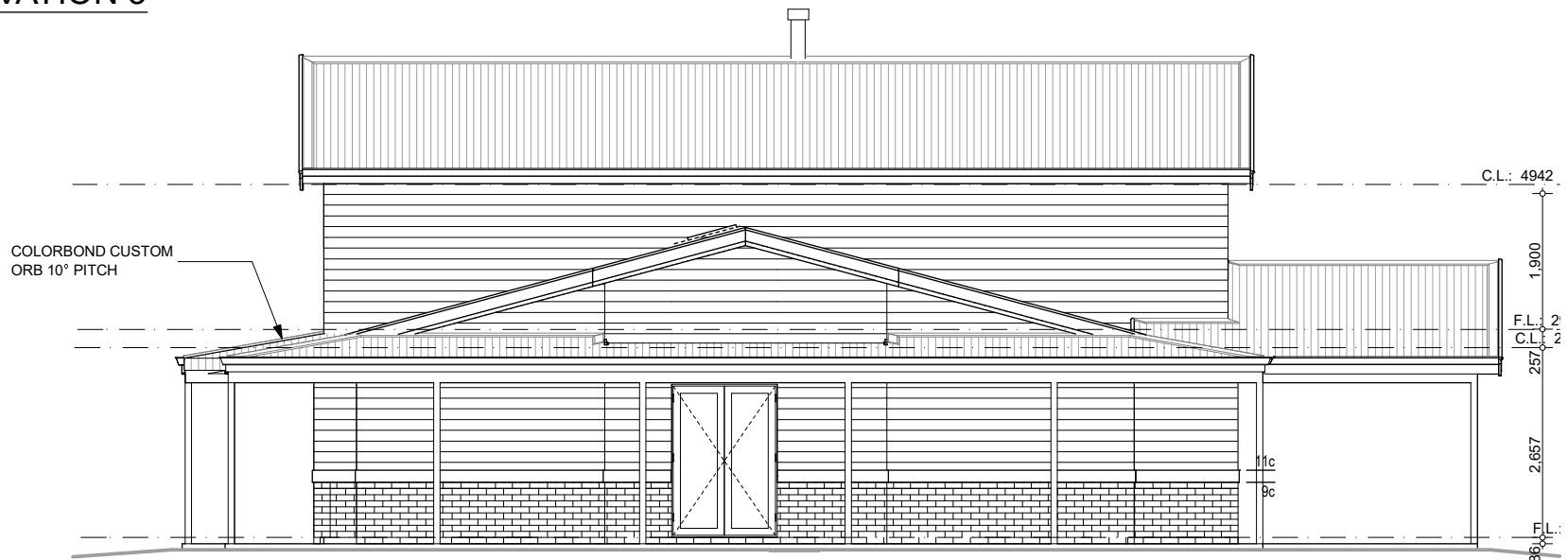
STEEL FRAME
SELECTED SCYON CLADDING
R2.5 INSULATION &
MOISTURE BARRIER BEHIND



ELEVATION 2
1:100



ELEVATION 3
1:100



ELEVATION 4
1:100

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WANDERING

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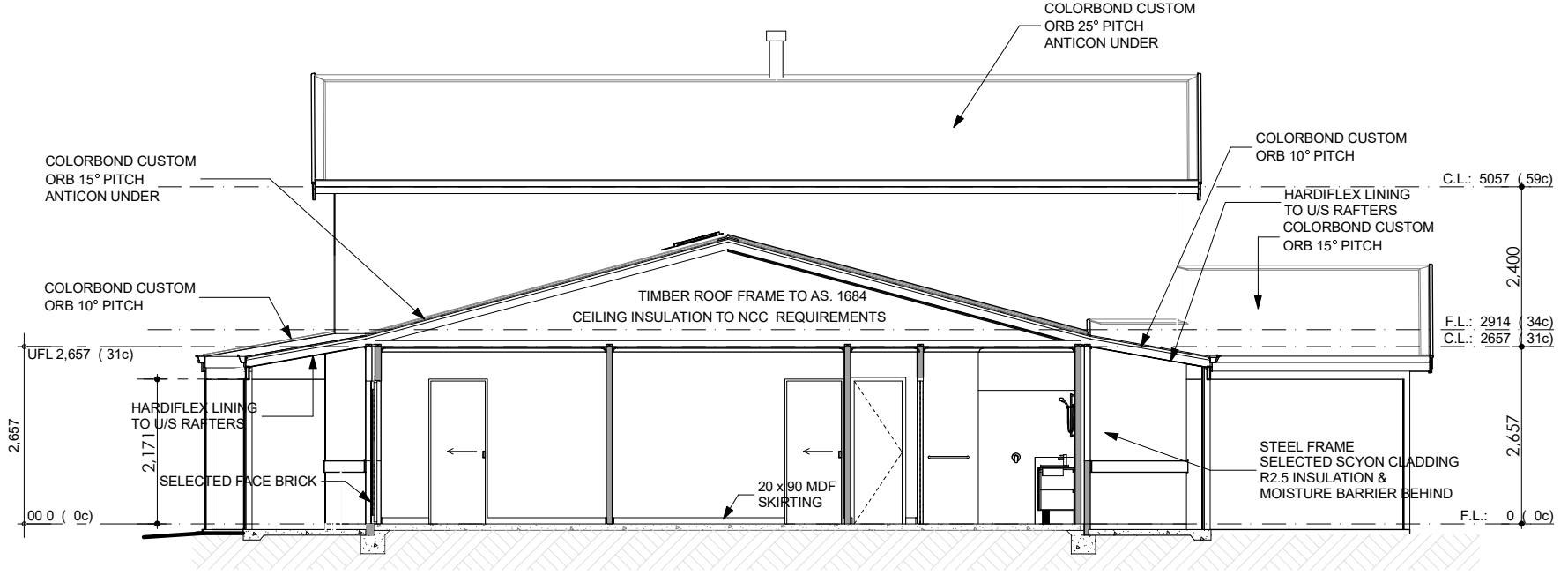
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A1 SECTION
1:100



A3 SECTION
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Drawing No:		06 of 9	

CLIENT(S):
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ADDRESS:
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WANDERING 6308**

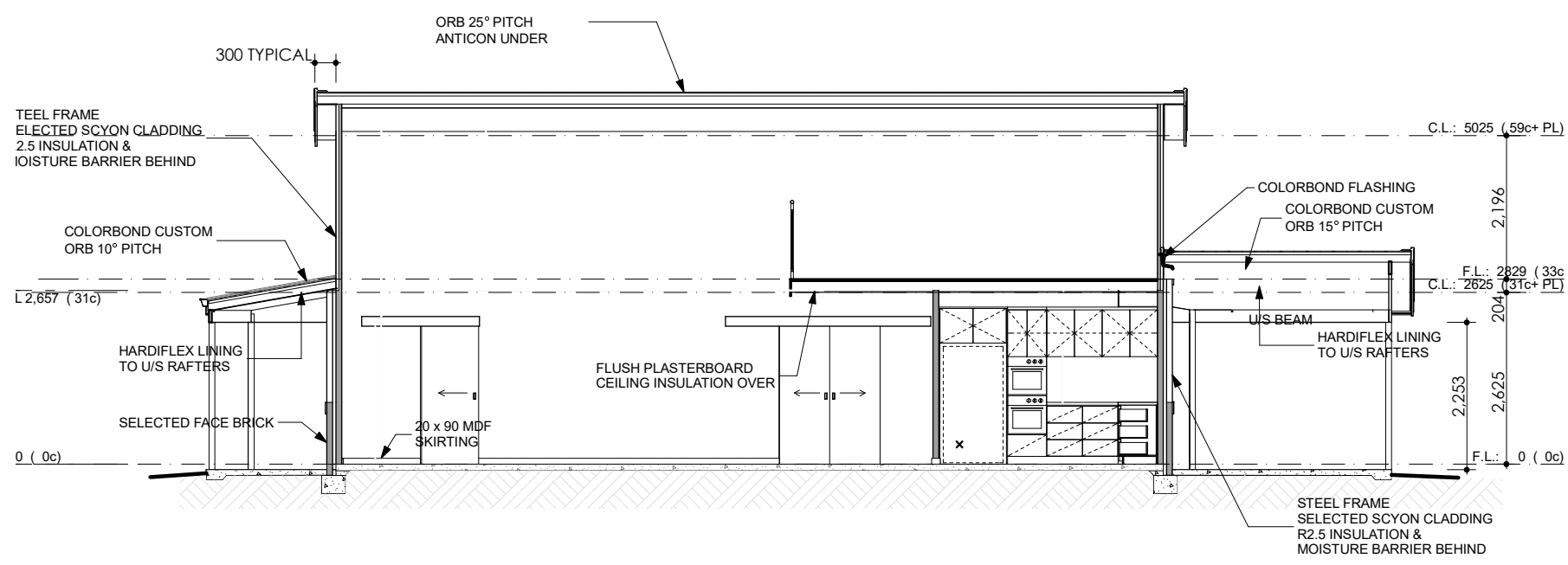
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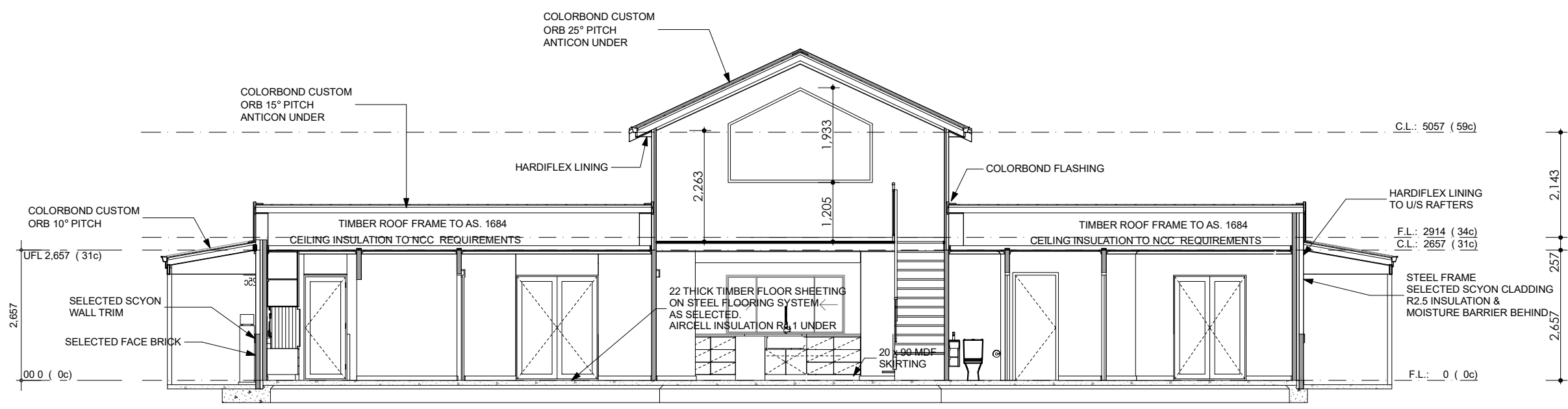
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A2 SECTION
1:100



A4 SECTION
1:100

COUNCIL:	Drawing Title:		Date: MAY 2021
	SECTIONS		
WANDERING	Scale: 1:100	Status: WORKING DRAWINGS	
	REV 01 CONTRACT	DWN DATE 00-00-00	CHK -
JOB NO: 2325		Drawing No:	
07 of 9			

CLIENT(S): DENISE TERRY

ADDRESS: 4 MELLOWS ROAD WANDERING 6308

JUDITH McDOUGALL DESIGNS

TEL 0447 550 275
ABN 79 425 984 191
Email: judithmcdougall@gmail.com

Accredited Member No. 00010
OPEN CLASS SPECIALIST
ACCREDITED MEMBER
BUILDING DESIGNER

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL WORKING DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE ARCHITECT FOR CONSTRUCTION



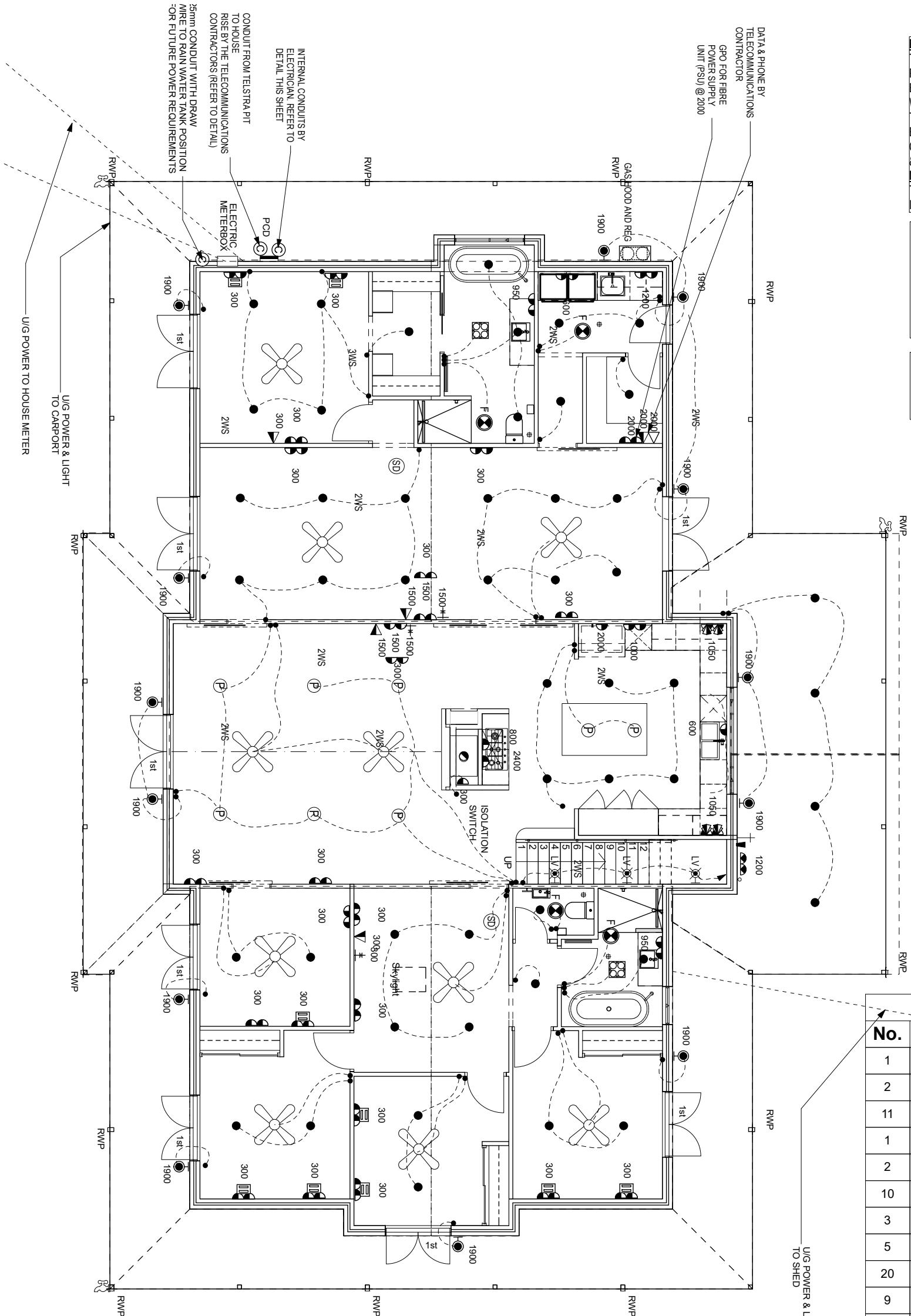
ELECTRICIAN NOTE:
 THIS PROJECT IS TO BE FIBRE READY. IF DATA, TV & PHONE POINTS ARE BY TELECOMMUNICATIONS CONTRACTOR, ELECTRICIAN TO INSTALL WALL BOX, CONDUIT & DRAW WIRE TO ALL CONDUITS NOMINATED & ALSO FOR ALL DATA, TV & PHONE POINTS OR INSTALL WALL BOXES IF TO CAVITY WALLS. ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH COMPASS COMMUNICATIONS CABLING STANDARDS & PROVISIONAL INSTALLATION REQUIREMENTS.
NOTE: IF ELECTRICIAN IS NOMINATED TO CARRY OUT TELECOMMUNICATIONS WORKS CONDUITS MAY NOT BE INSTALLED.

BCA PART 3.12.5.5 LIGHTING NOT TO EXCEED:
 - 5W/m² IN CLASS 1 BUILDING; AND
 - 4W/m² TO VERANDAH OR BALCONY; AND
 - 3W/m² TO AN ASSOCIATED CLASS 10A; AND
 - PERIMETER LIGHTING TO HAVE DAYLIGHT SENSOR OR EFFICACY OF NOT LESS THAN 40 LUMENS/W

NOTE: ALL EXTERNAL WALL LIGHTS TO BE POSITIONED AT 1900 AFL UNLESS NOTED OTHERWISE

NOTE: ALL LIGHT/EXHAUST FAN COMBOS & LIGHT/FAN/HEAT COMBO UNITS (AS INDICATED ON PLANS) TO HAVE EACH FUNCTION SWITCHED SEPARATELY.

NOTE: ALL LIGHT SWITCHES TO BE POSITIONED AT 1350 AFL UNLESS NOTED OTHERWISE



ELECTRICAL-GROUND FLOOR
 1:100

ELECTRICAL LEGEND		
No.	SYMBOL	TYPE
1		1200L DOUBLE FLOURO WITH DIFFUS...
2		2 QUAD GPOs @ 1050 AFL
11		2 Way Switch
1		3 Way Switch
2		4x HEATER/FAN/LIGHT Vented
10		Ceiling Fan
3		CONDUIT
5		DATA POINT
20		DOUBLE GPO @ NOTED HT
9		DOUBLE GPO @ NOTED HT W/USB
2		DOUBLE WATER PROOF GPO
4		EXHAUST FAN FLUMED
2		GAS NEGUS POINT
13		LED UP/DN PILLAR LIGHT @ 1900AFL
1		PCD
8		PENDENT LIGHT
1		PHONE POINT
49		RECESSED LED DOWN-LIGHT
5		SINGLE GPO @ NOTED HT
2		Smoke Detector
3		TV POINT
3		Wall LV - recessed

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Design Matters
 National
 The Institute of Building Designers
 Member

CLIENT(S):
DENISE TERRY

ADDRESS:
4 MELLOWS ROAD WANDERING 6308

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE ARCHITECT FOR CONSTRUCTION

COUNCIL:
WANDERING

REV	DETAILS	DWN	DATE	CHK
01	CONTRACT	-	00-00-00	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-

Drawing Title:
ELECTRICAL-GROUND FLOOR

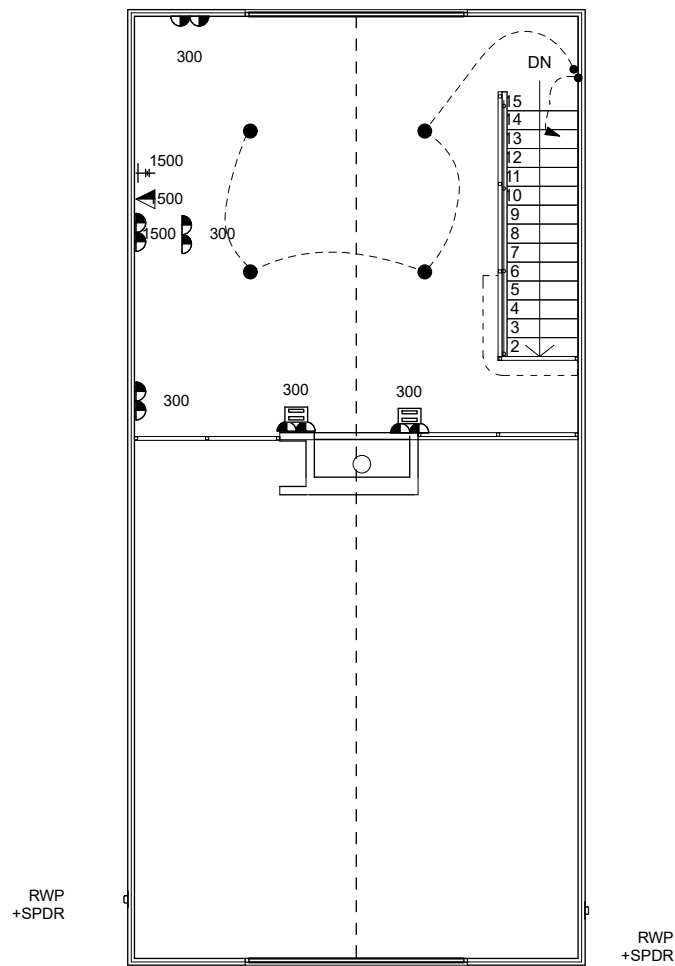
Scale: 1:100 Date: **MAY 2021**

Status: **WORKING DRAWINGS**

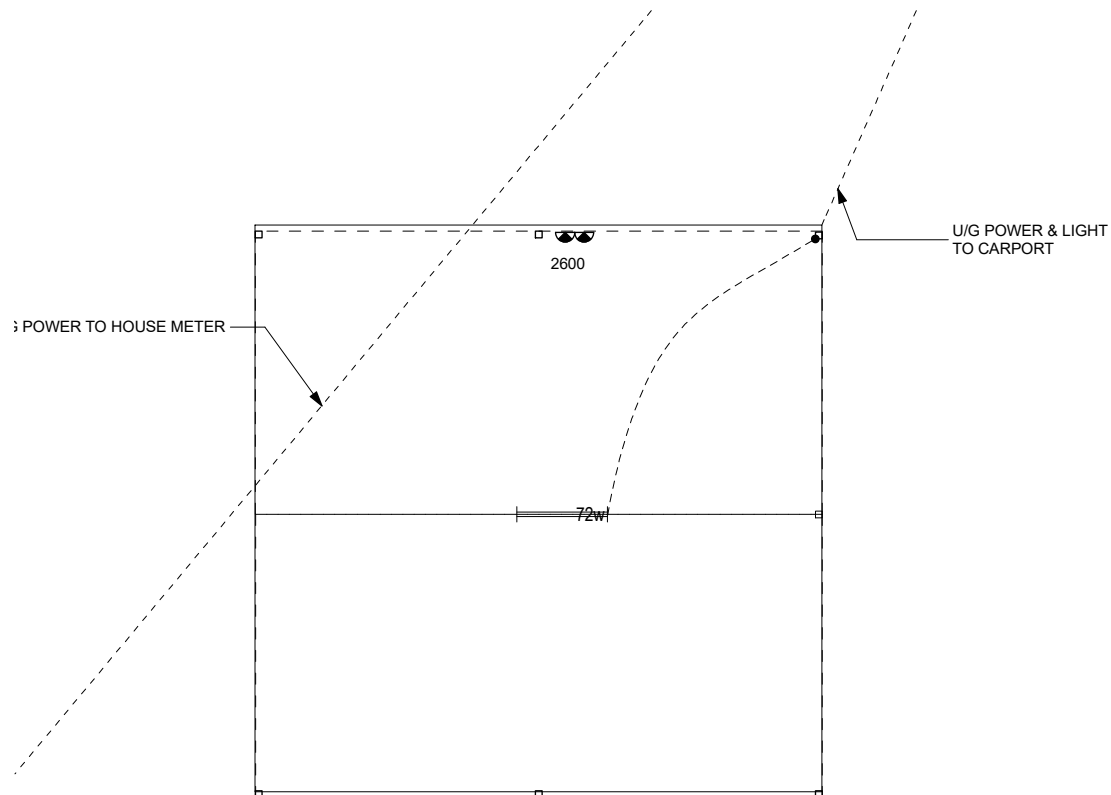
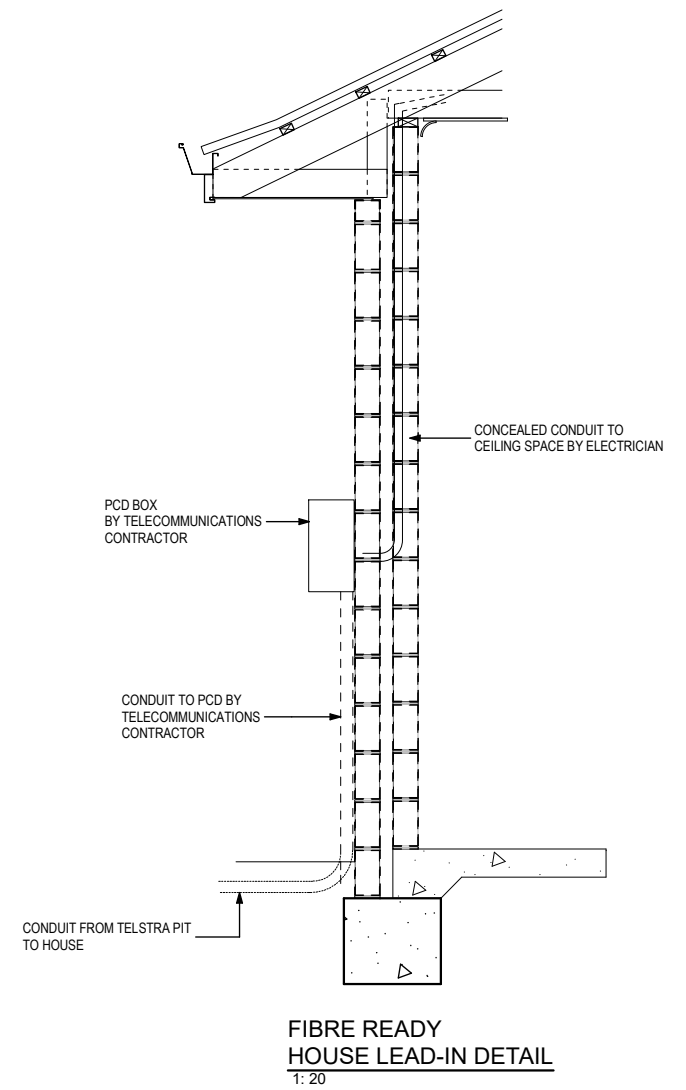
JOB NO: **2325**

Drawing No: **08 of 9**

70



ELECTRICAL-CARPORT
1:100



ELECTRICAL- CARPORT
1:100

DRAFTING ELECTRICAL LEGEND UF		
No.	SYMBOL	TYPE
1	▼	DATA POINT
5	⌋	DOUBLE GPO @ NOTED HT
2	⌋	DOUBLE GPO @ NOTED HT W/USB
4	●	RECESSED LED DOWN-LIGHT
1	⚡	TV POINT

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 National
 The Australian Institute of Building Design Practitioners
 Member

CLIENT(S):
DENISE TERRY

ADDRESS:
4 MELLOWS ROAD WANDERING 6308

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COUNCIL:
WANDERING

REV	DETAILS	DWN	DATE	CHK
01	CONTRACT	-	00-00-00	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-

Drawing Title:
ELECTRICAL-FIRST FLOOR

Scale: 1:100 Date: **MAY 2021**

Status: **WORKING DRAWINGS**

JOB NO: **2325**

Drawing No: _____

71 **09 of 9**

Bushfire Attack Level Assessment Report



BPAD
Bushfire
Planning & Design
Accredited Practitioner
Level 2



AS 3959 BAL Assessment Report

This report has been prepared by an Accredited BPAD Practitioner using the Simplified Procedure (Method 1) as detailed in Section 2 of AS 3959 – 2018. FPA Australia makes no warranties as to the accuracy of the information provided in the report. All enquiries related to the information and conclusions presented in this report must be made to the BPAD Accredited Practitioner, WA Fire & Safety, contact details below.



Property Details and Description of Works

Address Details	Lot	4	No.		Street name	Mellows Road
	Suburb	Wandering			State	Western Australia
Local government area	Shire of Wandering					
Main BCA class of the building	Class 1a	Use(s) of the building	Primary Dwelling			
Description of the building or works	New Build Class 1a Dwelling with Multiple Non-associated Class 10a Structures (>6m)				1. Class 1a Dwelling	
					2. Class 10a Non-Associated Carport	
					3. Class 10a Non-Associated Shed	

Report Details

Report Number	23053	Version	1.0	Assessment Date	16 September 2022	Report/Certificate Date	27 July 2023
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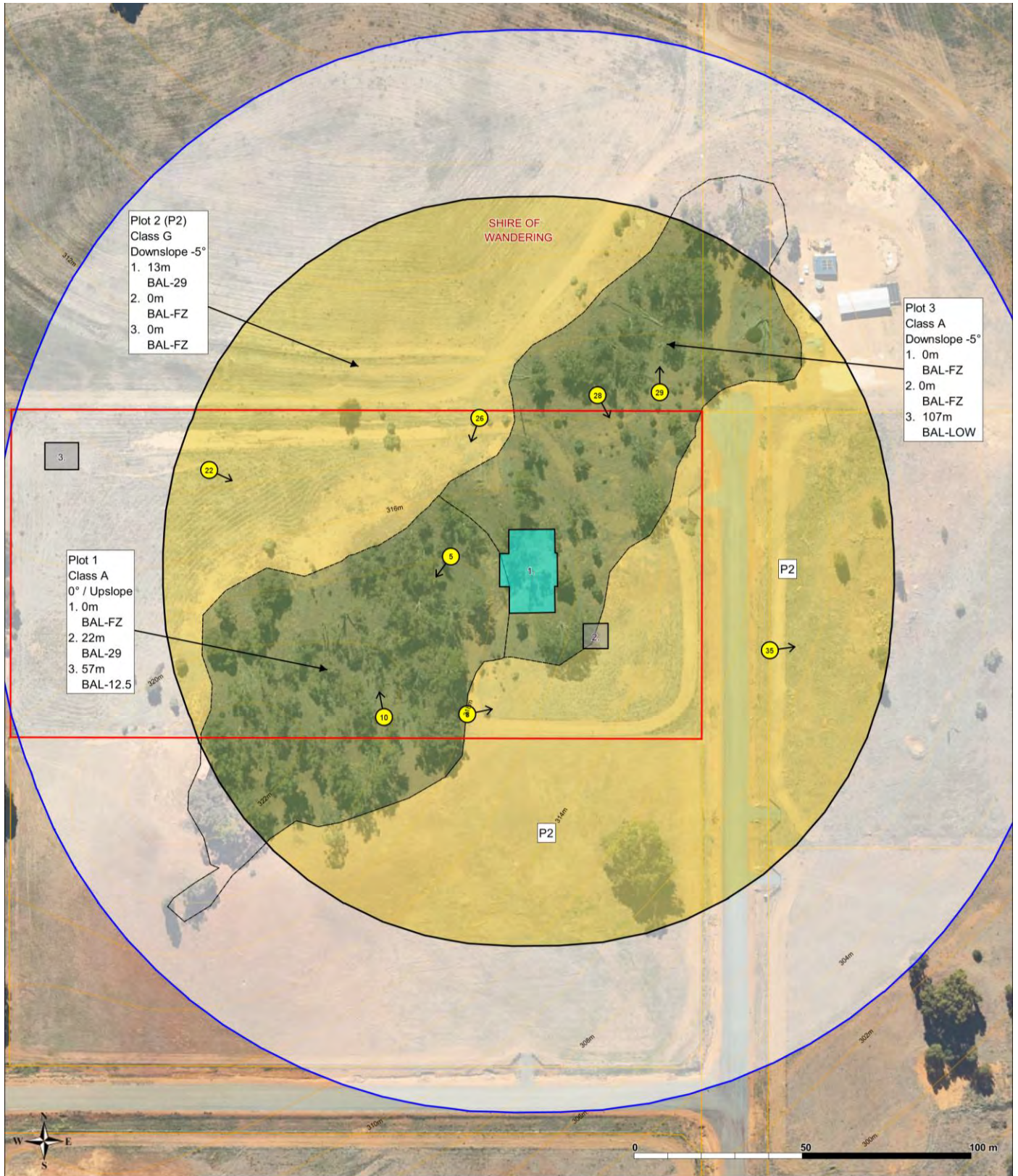
BPAD Accredited Practitioner Details

<p>Name Dwayne Griggs BPAD40466 (Level 2)</p> <p>Company Details Email: admin@wafiresafety.com.au Mobile: 0415684681 Links to: Facebook & Google</p> 	<p>I hereby declare that I am a BPAD accredited bushfire practitioner</p> <p>Accreditation No. BPAD 40466</p> <p>Signature: </p> <p style="text-align: right;"><i>Authorised Practitioner Stamp</i></p>
---	---

Reliance on the assessment and determination of the Bushfire Attack Level contained in this report should not extend beyond a period of 12 months from the date of issue of the report. If this report was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated report issued.

Site Assessment Map

The assessment of this site / development was undertaken by a BPAD Accredited Practitioner for the purpose of determining the Bushfire Attack Level in accordance with AS 3959 - 2018 Simplified Procedure (Method 1).




Legend

<ul style="list-style-type: none"> Photo points 100m Vegetation Survey 100m 150m Vegetation Survey Exc 2.2.2.2(a) 150m 	<ul style="list-style-type: none"> Dimensions Pre APZ Effective Slope(°) Separation Distance (m) 	<ul style="list-style-type: none"> Property boundary(Size) Boundary 2ha Buildings 1. Class 1a Dwelling 	<ul style="list-style-type: none"> 2. Class 10a Non-Associated Carport 3. Class 10a Non-Associated Shed Vegetation 0-100m A. Forest, -5 	<ul style="list-style-type: none"> A. Forest, 0 G. Grassland, -5 Vegetation 100-150m Excluded Excluded, a, -5 	<ul style="list-style-type: none"> Excluded, a, 0 Local Government Authority Other Roads DPIRD 2m Contours
---	---	--	---	---	--

Vegetation Classification

All vegetation within 100m of the site / proposed development was classified in accordance with Clause 2.2.3 of AS 3959-2018. Each distinguishable vegetation plot with the potential to determine the Bushfire Attack Level is identified below.

Photo ID: 5	Plot: 1	BRG: 212°S (T) POS: -32.657022, 116.65193 ±3 m ALT: 300 m
Vegetation Classification or Exclusion Clause		
Class A Forest		
Description / Justification for Classification		
Overstorey up to 30m in height Canopy Cover of 30-70% Understorey of Low Trees, Shrubs, Scrub and Grasses High surface, Near surface and Intermediate Fuel loads Contains rocky outcrops		
Photo ID: 10	Plot: 1	Wandering WAFS JM Lot 4 Mellows Rd 16 Sept 2022, 11:31:37
Vegetation Classification or Exclusion Clause		
Class A Forest		
Description / Justification for Classification		

Overstorey up to 30m in height
 Canopy Cover of 30-70%
 Understorey of Low Trees, Shrubs, Scrub and Grasses
 High surface, Near surface and Intermediate Fuel loads
 Contains rocky outcrops

BRG: 346°NW (T) POS: -32.657454, 116.651716 ±3 m ALT: 303 m



Wandering
 WAFS JM

Lot 4 Mellows Rd
 16 Sept 2022, 11:33:25

Photo ID:	22	Plot:	2
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Vegetation Classification or Exclusion Clause

Class G Grassland

Description / Justification for Classification

Grassland of >100mm in Height
 Canopy Cover of Less than 10%
 Understorey of Grasses
 Minimal surface, Near surface and Intermediate
 Fuel loads

BRG: 114°E (T) POS: -32.65679, 116.651158 ±3 m ALT: 299 m



Wandering
 WAFS JM

Lot 4 Mellows Rd
 16 Sept 2022, 11:38:20

Photo ID:	26	Plot:	2
Vegetation Classification or Exclusion Clause			
Class G Grassland			
Description / Justification for Classification			

<p>Grassland of >100mm in Height Canopy Cover of Less than 10% Understorey of Grasses Minimal surface, Near surface and Intermediate Fuel loads</p>	<p>BRG: 200°S (T) POS: -32.65665, 116.652021 ±2 m ALT: 298 m</p>  <p>Wandering WAFS JM</p> <p>Lot 4 Mellows Rd 16 Sept 2022, 11:40:08</p>
<p>Photo ID: 8 Plot: 2</p>	
<p>Vegetation Classification or Exclusion Clause</p>	
<p>Class G Grassland</p>	
<p>Description / Justification for Classification</p>	


Grassland of >100mm in Height
Canopy Cover of Less than 10%
Understorey of Grasses
Minimal surface, Near surface and Intermediate
Fuel loads


BRG: 78°NE (T) POS: -32.657446, 116.651982 ±3 m ALT: 302 m



Wandering
WAFS JM

Lot 4 Mellows Rd
16 Sept 2022, 11:32:32

Photo ID:	35	Plot:	2	BRG: 85°E (T) POS: -32.657274, 116.652947 ±3 m ALT: 294 m
Vegetation Classification or Exclusion Clause				
Class G Grassland				
Description / Justification for Classification				
<p>Grassland of >100mm in Height Canopy Cover of Less than 10% Understorey of Grasses Minimal surface, Near surface and Intermediate Fuel loads</p>				
Photo ID:	28	Plot:	3	Wandering Lot 4 Mellows Rd WAFS-JM 16 Sept 2022, 11:43:34
Vegetation Classification or Exclusion Clause				
Class A Forest				
Description / Justification for Classification				

<p>Overstorey up to 30m in height Canopy Cover of 30-70% Understorey of Low Trees, Shrubs, Scrub and Grasses High surface, Near surface and Intermediate Fuel loads Contains rocky outcrops</p>	<p>BRG: 152°SE (T) POS: -32.656589, 116.652398 ±2 m ALT: 298 m</p>  <p>Wandering WAFS JM Lot 4 Mellows Rd 16 Sept 2022, 11:40:41</p>
<p>Photo ID: 29 Plot: 3</p>	
<p>Vegetation Classification or Exclusion Clause</p>	
<p>Class A Forest</p>	
<p>Description / Justification for Classification</p>	

Overstorey up to 30m in height
 Canopy Cover of 30-70%
 Understorey of Low Trees, Shrubs, Scrub and Grasses
 High surface, Near surface and Intermediate Fuel loads
 Contains rocky outcrops

BRG: 0°N (T) POS: -32.656581, 116.652596 ±2 m ALT: 298 m



Wandering
 WAFS JM

Lot 4 Mellows Rd
 16 Sept 2022, 11:40:57

Relevant Fire Danger Index

The fire danger index for this site has been determined in accordance with Table 2.1 or otherwise determined in accordance with a jurisdictional variation applicable to the site.

Fire Danger Index (WA is FDI of 80)

FDI 40

Table 2.4.5

FDI 50

Table 2.4.4

FDI 80

Table 2.4.3

FDI 100

Table 2.4.2

Potential Determined Bushfire Impacts

Table 1a shows the potential bushfire impact for each of the structures / proposed development from each of the identified vegetation plots are identified below to the walls or supporting posts of the structure on the day of the assessment.

1. Class 1a Dwelling

Plot	Vegetation Classification	Effective Slope	Separation (m)	BAL
1	Class A - Forest	0/Upslope	0	BAL – FZ
2	Class G Grassland	0-5 Downslope	13	BAL – 29
3	Class A - Forest	0-5 Downslope	0	BAL – FZ

Table 1: BAL Analysis

Determined Bushfire Attack Level (BAL)

The Determined Bushfire Attack Level (highest BAL) for the site / proposed development has been determined in accordance with clause 2.2.6 of AS 3959-2018 using the above analysis.

Determined Bushfire Attack Level	BAL – FZ
----------------------------------	----------

2. Class 10a Non-Associated Carport

Plot	Vegetation Classification	Effective Slope	Separation (m)	BAL
1	Class A - Forest	0/Upslope	22	BAL – 29
2	Class G Grassland	0-5 Downslope	0	BAL – FZ
3	Class A - Forest	0-5 Downslope	0	BAL – FZ

Table 1: BAL Analysis

Determined Bushfire Attack Level (BAL)

The Determined Bushfire Attack Level (highest BAL) for the site / proposed development has been determined in accordance with clause 2.2.6 of AS 3959-2018 using the above analysis.

Determined Bushfire Attack Level	BAL – FZ
----------------------------------	----------

3. Class 10a Non-Associated Shed

Plot	Vegetation Classification	Effective Slope	Separation (m)	BAL
1	Class A - Forest	0/Upslope	57	BAL – 12.5
2	Class G Grassland	0-5 Downslope	0	BAL – FZ
3	Class A - Forest	0-5 Downslope	107	BAL – LOW

Table 1: BAL Analysis

Determined Bushfire Attack Level (BAL)

The Determined Bushfire Attack Level (highest BAL) for the site / proposed development has been determined in accordance with clause 2.2.6 of AS 3959-2018 using the above analysis.

Determined Bushfire Attack Level	BAL – FZ
----------------------------------	----------

Required vegetation modification to achieve BAL-29 or below:

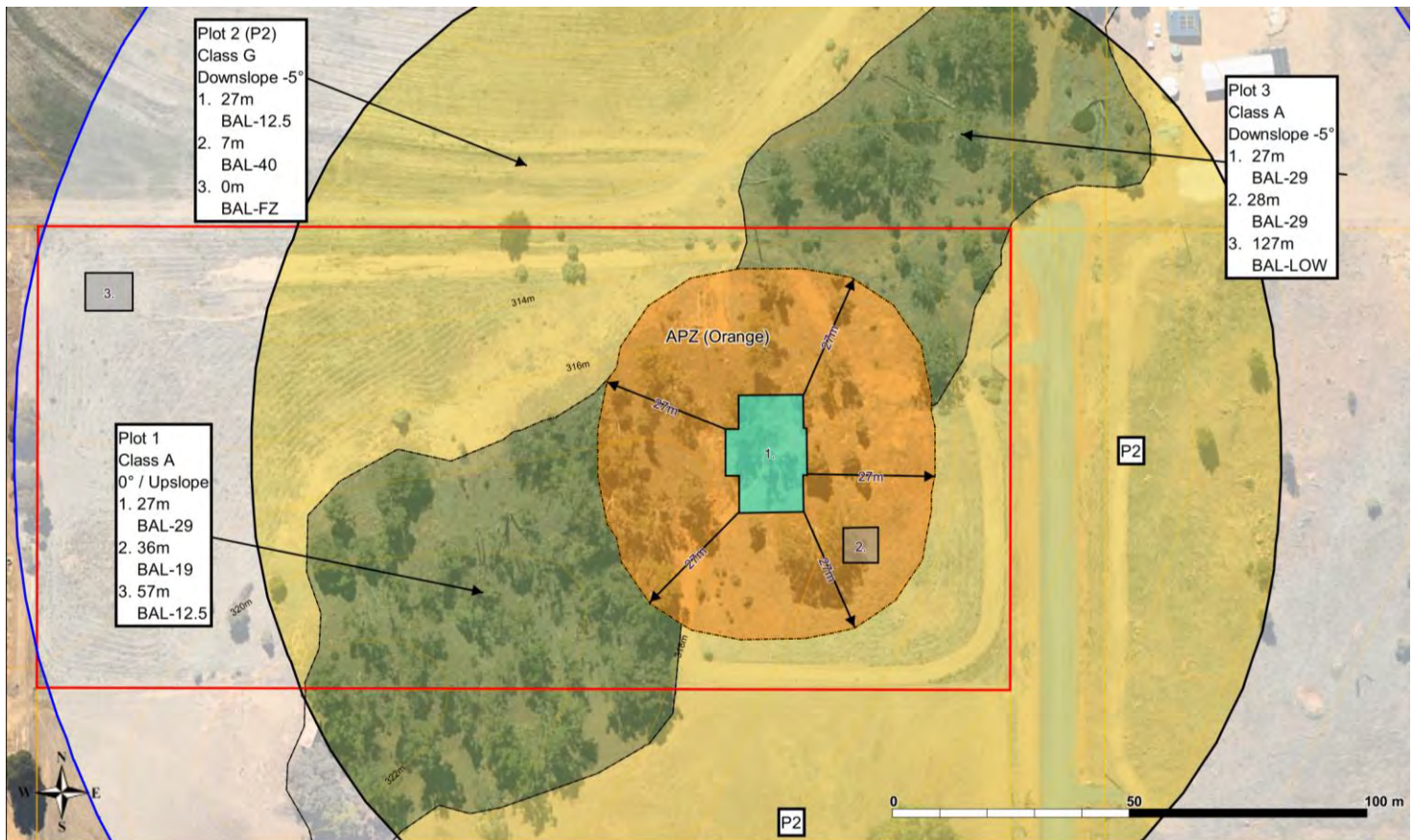
Table 1b provides a guide to demonstrate that BAL-29 or below is achievable after the establishment of an Asset Protection Zone (APZ) entirely inside the subject lot.

This is NOT approval to clear or modify vegetation in any way and approval MUST be provided by the local Government Authority before any works are started. A bushfire Management Plan/Statement (BMP/BMS) may be required.

1. Class 1a Dwelling

Plot	Vegetation Classification	Effective Slope	Separation (m)	BAL
1	Class A - Forest	0/Upslope	27	BAL – 29
2	Class G Grassland	0-5 Downslope	27	BAL – 12.5
3	Class A - Forest	0-5 Downslope	27	BAL – 29
Prescribed BAL with an APZ of 27m			BAL – 29	

Table 1b: Prescribed BAL Analysis

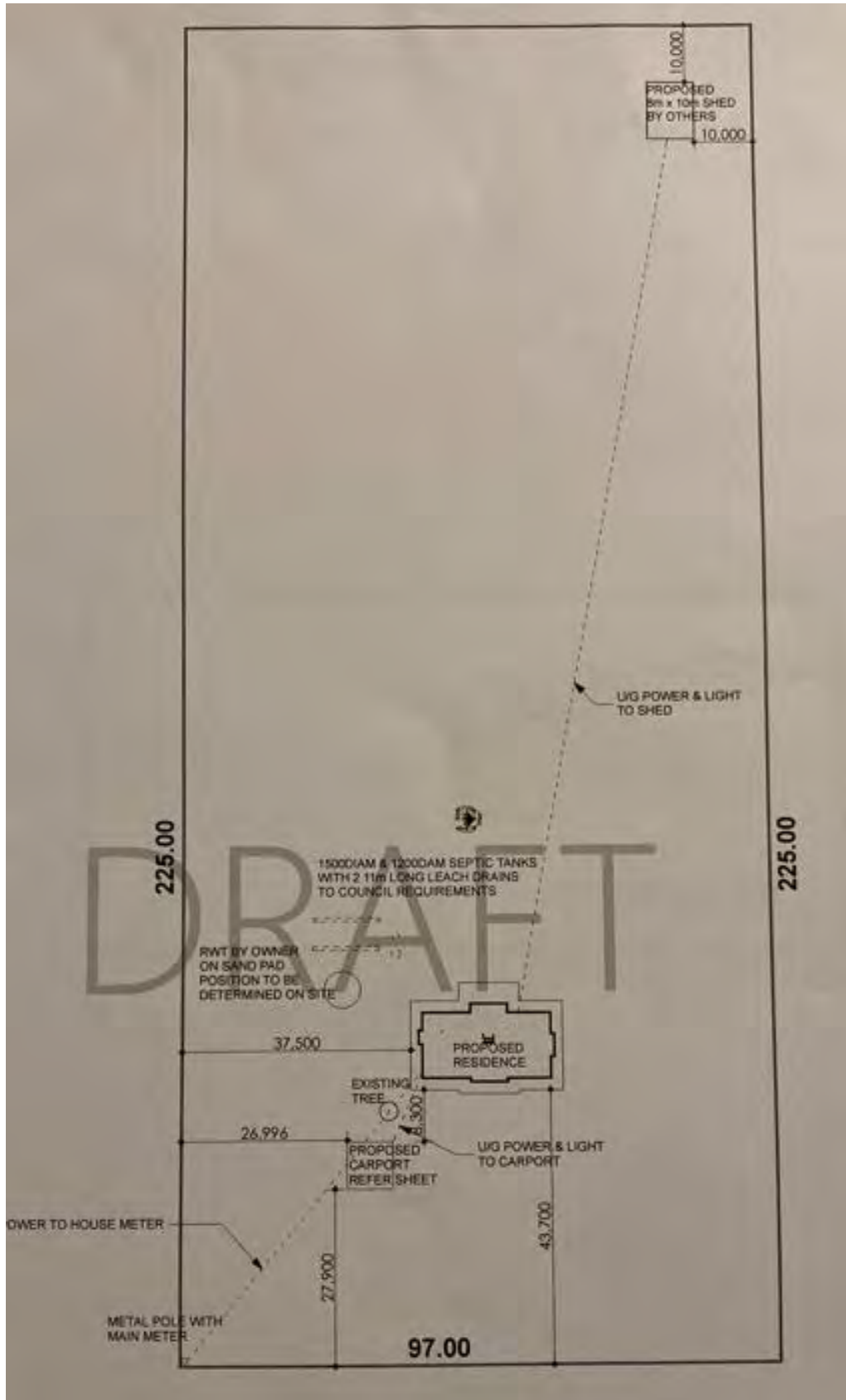


Legend

100m Vegetation Survey 100m 150m Vegetation Survey Exc 2.2.2.2(a) 150m	Dimensions Pre APZ Effective Slope(°) Separation Distance (m)	Property boundary(Size) Boundary 2ha Boundary 3ha Buildings 1. Class 1a Dwelling 2. Class 10a Non-Associated Carport 3. Class 10a Non-Associated Shed Vegetation APZ-100m A. Forest, -5	A. Forest, 0 G. Grassland, -5 Vegetation 100-150m Excluded Excluded, a, -5	Excluded, a, 0 A2.1 Asset Protection Zone (APZ) APZ 27m Local Government Authority	Other Roads DPIRD 2m Contours
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Appendix 1: Plans and Drawings: Plans and drawings relied on to determine the bushfire attack level

New Build Class 1a Dwelling with Multiple Non-associated Class 10a Structure (>6m)



Appendix 2: Application of Shielding Provisions

AS3959-2018 c3.5 Shielding Provision applies as described and illustrated below.

Proposed Class 1a Dwelling is BAL- FZ on the day of assessment, and after the establishment of an APZ (Asset Protection Zone) of 27m it will be BAL-29 to all elevations.

Appendix 3: Additional Information and Advisory Notes

Excluded Vegetation (as3959 Clause 2.2.3.2):

There are no excludable plots on this survey within 100m.

APZ (Asset Protection Zone) or BPZ

APZ will be 27m in all directions.

Topography

The proposed structure sits on the side of a hill and has upslope to the southwest, and to the east and northeast there is a downslope of no more than -5°

Recommendations for Landowner

Maintenance of the APZ and or Lot to the size and standard directed by the LGA firebreak and fuel notice and the standard for APZ's (appendix 4).

Construction Requirements Advisory Statement:

All information given regarding construction requirements for the appropriate BAL Level from AS3959, within and outside this report is advisory only.

Statement:

I Dwayne Griggs BPAD40466 of WA Fire & Safety, Maida Vale, have taken the appropriate steps to ensure that all the information provided in this Bushfire Attack Level Report is accurate and the correct determination of the site is given on the date of this assessment.

This report does not guarantee that a structure will not be damaged or destroyed from a bushfire. This assessment is made from the information provided and available to me the Bushfire Consultant on the day of the assessment. The Bushfire Consultant will not be liable for loss or other consequences following a fire whether due to negligence arising from the services conducted by the consultant, local government authority, the agent requesting and or the owner/occupier.

Any further vegetation planted after the date of this BAL Assessment or a failure to maintain the area within this BAL Report to the same standards can dramatically change the BAL rating. This will put the structure and close structures at a higher risk in the event of extreme bushfire behaviour in the area.

Very important information for landowner:

It is the responsibility of the landowner/proponent to maintain their APZ in accordance with Schedule 1 'Standards for Asset Protection Zones' It is further recommended that maintenance of APZs and Property is addressed through the local government firebreak notice (LGA firebreak and fuel notice), issued under s33 of the Bushfires Act 1954.

Appendix 4: Standards for Asset Protection Zones (from SPP3.7)

An APZ is an area surrounding a building that is managed to reduce the bushfire hazard to an acceptable level. The width of the required APZ varies with slope and vegetation. The APZ should at a minimum be of sufficient size to ensure the potential radiant heat impact of a fire does not exceed 29kW/m² (BAL-29). It should be lot specific. Hazard separation in the form of using subdivision design elements (refer to E2) or excluded and low threat vegetation adjacent to the lot may be used to reduce the dimensions of the APZ within the lot.

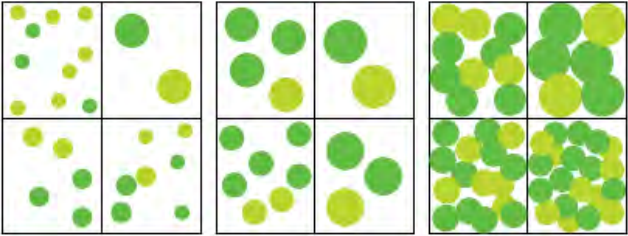
The APZ includes a defensible space which is an area adjoining the asset within which firefighting operations can be undertaken to defend the structure. Vegetation within the defensible space should be kept at an absolute minimum and the area should be free from combustible items and obstructions. The width of the defensible space is dependent on the space which is available on the property, but as a minimum should be 3 metres.

The APZ should be contained solely within the boundaries of the lot on which the building is situated, except in instances where the neighbouring lot or lots will be managed in a low-fuel state on an ongoing basis, in perpetuity. The APZ may make use of public roads, waterways, footpaths, buildings, rocky outcrops, golf courses, maintained parkland as well as cultivated gardens in an urban context, but does not include grassland or vegetation on a neighbouring rural lot, farmland, wetland reserves and unmanaged public reserves.

APZs can adversely affect the retention of native vegetation. Where the loss of vegetation is not acceptable or causes conflict with landscape or environmental objectives, such as waterway foreshore areas and wetland buffers, reducing lot yield may be necessary in order to minimise the removal and modification of remnant vegetation.

It is the responsibility of the landowner/proponent to maintain their APZ in accordance with Schedule 1 'Standards for Asset Protection Zones'. It is further recommended that maintenance of APZs is addressed through the local government firebreak notice, issued under s33 of the Bushfires Act 1954, and preferably included in a Bushfire Management Plan specifically as a how-to guide for the landowner.

SCHEDULE 1: STANDARDS FOR ASSET PROTECTION ZONES

OBJECT	REQUIREMENT
Fences within the APZ	<ul style="list-style-type: none"> Should be constructed from non-combustible materials (for example, iron, brick, limestone, metal post and wire, or bushfire-resisting timber referenced in Appendix F of AS 3959).
Fine fuel load (Combustible, dead vegetation matter <6 millimetres in thickness)	<ul style="list-style-type: none"> Should be managed and removed on a regular basis to maintain a low threat state. Should be maintained at <2 tonnes per hectare (on average). Mulches should be non-combustible such as stone, gravel or crushed mineral earth or wood mulch >6 millimetres in thickness.
Trees* (>6 metres in height)	<ul style="list-style-type: none"> Trunks at maturity should be a minimum distance of six metres from all elevations of the building. Branches at maturity should not touch or overhang a building or powerline. Lower branches and loose bark should be removed to a height of two metres above the ground and/or surface vegetation. Canopy cover within the APZ should be <15 per cent of the total APZ area. Tree canopies at maturity should be at least five metres apart to avoid forming a continuous canopy. Stands of existing mature trees with interlocking canopies may be treated as an individual canopy provided that the total canopy cover within the APZ will not exceed 15 per cent and are not connected to the tree canopy outside the APZ.
<p>Figure 19: Tree canopy cover – ranging from 15 to 70 per cent at maturity</p>	
	
Shrub* and scrub* (0.5 metres to six metres in height). Shrub and scrub >6 metres in height are to be treated as trees.	<ul style="list-style-type: none"> Should not be located under trees or within three metres of buildings. Should not be planted in clumps >5 square metres in area. Clumps should be separated from each other and any exposed window or door by at least 10 metres.
Ground covers* (<0.5 metres in height. Ground covers >0.5 metres in height are to be treated as shrubs)	<ul style="list-style-type: none"> Can be planted under trees but must be maintained to remove dead plant material, as prescribed in 'Fine fuel load' above. Can be located within two metres of a structure, but three metres from windows or doors if >100 millimetres in height.
Grass	<ul style="list-style-type: none"> Grass should be maintained at a height of 100 millimetres or less, at all times. Wherever possible, perennial grasses should be used and well-hydrated with regular application of wetting agents and efficient irrigation.
Defendable space	<ul style="list-style-type: none"> Within three metres of each wall or supporting post of a habitable building, the area is kept free from vegetation, but can include ground covers, grass and non-combustible mulches as prescribed above.
LP Gas Cylinders	<ul style="list-style-type: none"> Should be located on the side of a building furthest from the likely direction of a bushfire or on the side of a building where surrounding classified vegetation is upslope, at least one metre from vulnerable parts of a building. The pressure relief valve should point away from the house. No flammable material within six metres from the front of the valve. Must sit on a firm, level and non-combustible base and be secured to a solid structure.

Fine fuel load should be maintained to less than two tonnes per hectare, however this is often a subjective assessment. Reducing fuel load levels does not necessarily require the removal of existing vegetation. A combination of methods can be utilised to reduce fuel load such as raking, weed removal, pruning, mulching and/or the removal of plant material.

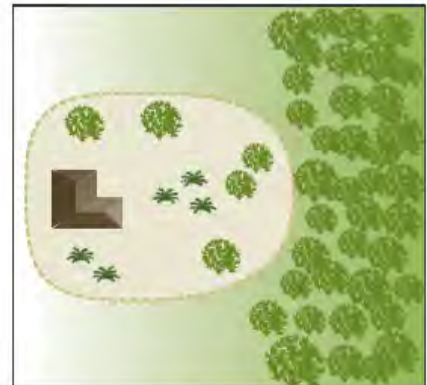
A simple method to estimate fuel load is to roughly equate one tonne of fuel load per hectare as 100 grams per square metre. For example, two tonnes per hectare of leaf litter is roughly 200 grams of leaf litter per square metre and eight tonnes per hectare is roughly 800 grams. Eucalyptus leaf litter is approximately 100 grams per handful, so two handfuls of litter per square metre will roughly equate to two tonnes per hectare. Different types of fine fuel, like mulch or pine needles may be more or less than a handful, however the 100 grams per square metre rule of thumb can still be used.

The landowner or proponent is responsible for maintaining an APZ in accordance with Schedule 1 - Standards for Asset Protection Zones. Ongoing maintenance of an APZ is usually enforced through the local government firebreak notice issued under section 33 of the *Bushfires Act 1954*, and/or through a condition of a development approval, which requires the implementation of measures identified within a BMP.

A copy of the firebreak notice and Schedule 1 should be included in a BMP specifically as a how-to guide for the landowner, and to demonstrate to decision-makers that the measures outlined in the BMP to achieve the appropriate BAL rating through provision and ongoing management of an APZ, can be implemented.

Regardless of whether an Asset Protection Zone exists in accordance with the acceptable solutions and is appropriately maintained, it should be noted that fire fighters are not obliged to protect an asset if they think the separation distance between the dwelling and vegetation is unsafe.

Hazard on one side



Hazard on three sides



Legend




-  APZ
-  trees
-  shrubs

Figure 18: Design of Asset Protection Zone

E2 Landscaping and design of an asset protection zone

Landscaping, design, and maintenance of an APZ in a bushfire prone area can significantly improve the bushfire resilience of a building. An APZ should not be seen as an area entirely cleared of vegetation, but as a strategically designed space that gives holistic consideration to how existing or proposed vegetation or non-combustible features interact with, or affect the building's bushfire resilience.

A well designed APZ provides a greater level of vegetation management within the first few metres of a building with, for example, less vegetation or inclusion of non-combustible materials. The vegetation within the remainder of an APZ can increase further away from the building with carefully considered plant selection and landscaping techniques.

Strategic landscaping measures can be applied, such as replacing weeds with low flammability vegetation (refer to E2 Plant Flammability) to create horizontal and vertical separations between the retained vegetation. The accumulation of fine fuel load from different plants is an important consideration for ongoing maintenance in accordance with Schedule 1. For example, when planting ground covers under deciduous trees within an APZ, the total fine fuel load prescribed in Schedule 1 will include any dead plant material from ground covers and leaf litter from the trees.

Plant density and final structure and form of mature vegetation should be considered in the initial landscaping stages. For example, clumps of sapling shrubs planted at a density without consideration of future growth, may increase the bushfire risk as a clump will quickly grow to exceed 5m². It should be noted that in some cases, a single shrub in a mature state may be so dense as to fill a 5m² clump alone.

The location of plants within an APZ is a key design technique. Separation of garden beds with areas of low fuel or non-combustible material, will break up fuel continuity and reduce the likelihood of a bushfire running through an APZ and subjecting a dwelling to radiant heat or direct flame contact. It is important to note, where mature trees are separated from a building by six metres, but the canopy has grown to extend or overhang a building, maintenance and pruning to remove the overhanging branches should be undertaken without the entirety of the tree being removed.

Mulches used within the APZ should be non-combustible. The use of stone, gravel, rock and crushed mineral earth is encouraged. Wood mulch >6mm in thickness may be used, however it is recommended that it is used in garden beds or areas where the moisture level is higher by regular irrigation. These materials could be sourced from non-toxic construction and demolition waste giving the added benefit of reducing the environmental impact of any 'hard landscaping' actions.

Combustible objects, plants, garden supplies such as mulches, fences made from combustible material, should be avoided within 10 metres of a building. Vines or climbing plants on pergolas, posts or beams, should be located away from vulnerable parts of the building, such as windows and doors. Non-flammable features can be used to provide hazard separation from classified vegetation, such as tennis courts, pools, lawns and driveways or paths that use inorganic mulches (gravel or crushed rock). Consider locating firewood stacks away from trees and habitable buildings.

Incorporation of landscaping features, such as masonry feature walls can provide habitable buildings with barriers to wind, radiant heat and embers. These features can include noise walls or wind breaks. Use of Appendix F of AS 3959 for bushfire resistant timber selection within areas of 29kW/m² (BAL-29) or below, or the use of non-combustible fencing materials such as iron, brick, limestone, metal post and wire is encouraged.

In addition to regular maintenance of an APZ, further bushfire protection can be provided at any time by:

- ensuring gutters are free from vegetation;
- installing gutter guards or plugs;
- regular cleaning of underfloor spaces, or enclosing them to prevent gaps;
- trimming and removing dead plants or leaf litter;
- pruning climbing vegetation (such as vines) on a trellis, to ensure it does not connect to a building, particularly near windows and doors;
- removing vegetation in close proximity to a water tank to ensure it is not touching the sides of a tank; and/or
- following the requirements of the relevant local government section 33 fire break notice, which may include additional provisions such as locating wood piles more than 10 metres from a building.

Preparation of a property prior to the bushfire season and/or in anticipation of a bushfire is beneficial even if your plan is to evacuate. As embers can travel up to several kilometres from a bushfire and fall into small spaces and crevices or land against the external walls of a building, best practice recommends that objects within the APZ are moved away from the building prior to any bushfire event. Objects may include, but are not limited to:

- door mats;
- outdoor furniture;
- potted plants;
- shade sails or umbrellas;
- plastic garbage bins;
- firewood stacks;
- flammable sculptures; and/or
- playground equipment and children's toys.

E2 Plant flammability

There are certain plant characteristics that are known to influence flammability, such as moisture or oil content and the presence and type of bark. Plants with lower flammability properties may still burn during a bushfire event, but may be more resistant to burning and some may regenerate faster post-bushfire.

There are many terms for plant flammability that should not be confused, including:

- Fire resistant – plant species that survive being burnt and will regrow after a bushfire and therefore may be highly flammable and inappropriate for a garden in areas of high bushfire risk.
- Fire retardant – plants that may not burn readily or may slow the passage of a bushfire.
- Fire wise – plants that have been identified and selected based on their flammability properties and linked to maintenance advice and planting location within a garden.

Although not a requirement of these Guidelines, local governments may develop their own list of fire wise or fire-retardant plant species that suit the environmental characteristics of an area. When developing a recommended plant species list, local governments should consult with ecologists, land care officers or environmental authorities to ensure the plants do not present a risk to endangered ecological communities, threatened, or endangered species or their habitat.

When selecting plants, private landholders and developers should aim for plants within the APZ that have the following characteristics:

- grow in a predicted structure, shape and height;
- are open and loose branching with leaves that are thinly spread;
- have a coarse texture and low surface-area-to-volume ratio;
- will not drop large amounts of leaves or limbs, that require regular maintenance;
- have wide, flat, and thick or succulent leaves;
- trees that have bark attached tightly to their trunk or have smooth bark;
- have low amounts of oils, waxes, and resins (which will often have a strong scent when crushed);
- do not produce or hold large amounts of fine dead material in their crowns; and/or
- will not become a weed in the area.

Appendix 5: Local Government Authority Fire Notice



Bush Fire Notice 2022/23

The Shire is committed to your safety; please take note of the instructions contained within this notice. There are changes to the conditions of what actions must be taken by 31 October 2022, these changes will be enforceable for the 2022/23 fire season. If you require any further information, please call a Fire Control Officer direct.

Graham Treasure
Chief Fire Control Officer – Shire of Wandering



WHAT'S INSIDE

- » Dates to Remember
- » Hazard Reduction Program
- » Burning Permits
- » Firebreak Notice

Dates You Must Remember

Due to unseasonal weather conditions these dates may be extended or shortened. You must check with the Shire of Wandering for details

<p>RESTRICTED BURNING PERIOD - PERMITS REQUIRED 1 October 2022 to 31 October 2022 inclusive</p> <p>CAMPFIRES AND BONFIRES PROHIBITED Contact your Local Fire Control Officer for a permit</p>
<p>BURNING PROHIBITED 1 November 2022 to 21 February 2023 inclusive</p> <p>NO BURNING AND NO FIRES</p>
<p>RESTRICTED BURNING PERIOD - PERMITS REQUIRED 22 February 2023 to 19 April 2023 inclusive</p> <p>NO BURNING WITHOUT A PERMIT CAMPFIRES AND BONFIRES PROHIBITED Contact your Local Fire Control Officer for a permit</p>
<p>BURN WITH CARE 20 April 2023 to 30 September 2023</p> <p>NO PERMIT REQUIRED</p>

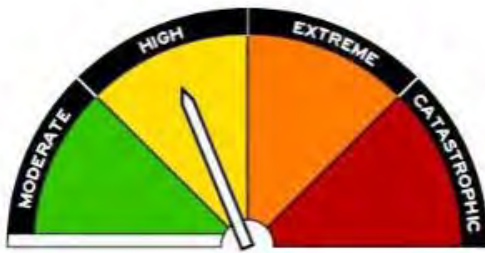
Note: Fire Danger Rating for a particular day can overrule permits

BURNING PERMITS can be obtained from your local Fire Control Officer. Please remember the Fire Control Officers are volunteers – you may have to leave a message and they will get back to you.

PLEASE PLAN AHEAD, do not ring a Fire Control Officer on the day you want to burn and expect a permit, as it may not be granted. You must give notice to your neighbours and the Shire once the permit is granted.

FIREBREAKS must be installed before 31 October 2022 and maintained clear of flammable material.

FOR ALL FIRES CALL 000



Name/Colour	Fire Behaviour Index Range	Suppression difficulty
MODERATE (Green)	12-23	Most bushfires in this category. Fires typically suppressed with direct, parallel or indirect attack.
HIGH (Yellow)	24-49	Initial attack success critical to prevent large fire development. Defensive suppression strategies.
EXTREME (Orange)	50-99	Defensive suppression strategies. High levels of threat to life/property. Safety of firefighters and community paramount.
CATASTROPHIC (Red)	100+	Unsafe for firefighters and community. Without initial attack success, likelihood of very large fire development is very high. High probability of loss of life and property.

Bush Fires Act 1954

Shire of Wandering – Firebreak Notice

Notice to all Owners and Occupiers of land within the Shire of Wandering

A firebreak is a strip of land that has been cleared of all trees, bushes and grasses (eg. sprayed, ploughed, cultivated, scarified) and any other flammable material, leaving clear bare earth. This includes the trimming back of all overhanging trees, bushes, shrubs and other objects over the fire break area.

Firebreaks must be maintained clear of all inflammable materials during the restricted and prohibited burning periods

This notice advises what action you must take by 31 October 2022, and maintain through the restricted and prohibited burning periods. If you do not meet your responsibilities, you may be fined a minimum of \$250 and be required to meet the cost of Council's effort to make you comply with this notice.

1. Properties in Blackboy Springs, Wandering Downs Estate and Properties Less Than 10 hectares:

Bare mineral earth firebreaks, not less than 3 metres wide, inside and within 20 metres of the road reserve.

Bare mineral earth 3 metre firebreaks around all buildings. It is recommended that all flammable material be removed for a distance of 3 metres immediately adjacent to all buildings.

Are to have all flammable matter slashed, mowed or trimmed down by other means to a height of no greater than 150mm across the entire property (living trees, shrubs, plants and agricultural crops under cultivation are excepted) or approved stock management of pasture by Local Brigade Fire Control Officer

2. All other Small Rural Holdings with an area of 10 - 80 hectares or less:

Bare mineral earth firebreaks, not less than 3 metres wide, inside and within 20 metres of the entire boundary.

Bare mineral earth 3 metre firebreaks around all buildings. It is recommended that all flammable material be removed for a distance of 3 metres immediately adjacent to all buildings.

During a Total Fire Ban

You must not light a fire in the open air or use any equipment in the open air that is likely to emit sparks

This includes lighting wood fuel barbeques, pizza ovens or candles, and using angle grinders, welders or lawnmowers.

3. Combined Rural Holdings in the Shire of Wandering greater than 80 hectares:

Satisfy at least one of the following conditions:

- i. Have on stand-by an operational mobile fire-fighting unit of minimum 450 litre* capacity. If you own more than one land holding in the Shire of Wandering, a minimum of one unit is required for the total land holding; or
- ii. Bare mineral earth firebreaks, not less than 3 metres wide, inside and within 20 metres of the road boundary of all rural land held.

You must also have:

- i. Bare mineral earth firebreaks, not less than 3 metres wide, within 20 metres of the perimeter of all buildings on the land. It is recommended that all flammable material be removed for a distance of 3 metres immediately adjacent to all buildings; and
- ii. Bare mineral earth firebreaks, not less than 20 metres wide, around the perimeter of any bush exceeding 10 hectares in area prior to carrying out a clearing burn.

4. Town site land:

- i. Bare mineral earth firebreaks, not less than 3 metres wide, inside all external boundaries of the land; and/or
- ii. Clear, by burning, all flammable material likely to be conducive to the outbreak, spread or extension of a fire from the whole of the land; and/or
- iii. Maintain grass to a height not greater than 100mms.

5. Plantations (A clump of planted trees greater than 10 hectares in area):

- i. Bare mineral earth firebreaks, not less than 10 metres wide, immediately inside all external boundaries of land.
- ii. Bare mineral earth firebreaks internal, not less than 10 metres wide, surrounding compartments of maximum area of 100 hectares.

All properties will be inspected from 31 October 2022 to ensure they comply with these requirements. Failure to comply will result in an infringement being issued.

HARVEST, BALING & CHAFF CUTTING

- During harvest, baling and chaff cutting operations an operational mobile firefighting unit of minimum 600 litre capacity, must be in close proximity and an operational fire extinguisher must also be at hand.
- Rural property owners are urged to fit a 38mm male camlock coupling and check valve to their water storage tanks to allow easy access to water by fire fighters.

HARVEST AND VEHICLE MOVEMENT BAN

Imposed by the Shire of Wandering

HARVEST BAN LINE 9884 1042

- A ban on harvesting and the movement of vehicles in paddocks (except for the watering, feeding and management of stock), is likely to be imposed by Fire Control Officers when the Shire's actual conditions dictate.
- The Shire of Wandering offers a free program that allows you to be notified by SMS message when Harvest and Vehicle Movement Bans are imposed. Contact the Shire Office during business hours on 9884 1056 for details.
- Phone the Wandering Harvest Ban line on 9884 1042 for details and updates.

TOTAL FIRE BANS

IMPOSED BY THE DEPARTMENT OF FIRE & EMERGENCY SERVICES (DFES)

Refer to www.dfes.wa.gov.au for full conditions and restrictions for Total Fire Ban days.

What does a Total Fire Ban mean?

It means a person **must not**:

- Light, maintain or use a fire in the open air, or carry out an activity in the open air that causes or is likely to cause a fire.
- The ban includes; hot works (welding, grinding, soldering, gas cutting), all open solid fuel fires for the purpose of cooking or camping, use of incinerators and other activities.

When will a Total Fire Ban be declared?

Total fire bans are declared on days when fires will be difficult to control, are most likely to threaten lives and property, or when widespread fires are impacting the availability of resources.

The decision to put a ban in place is based on the weather forecast. DFES consults with the Bureau of Meteorology to determine when dangerous fire weather conditions are likely. DFES also consults with local governments that will be affected.

How will I know when one has been declared?

You can check:

- The DFES website at www.dfes.wa.gov.au
- By calling 1800 709 355
- By listening to ABC local radio and other media outlets.



Hazard Reduction Program

To reduce fire hazards around your property:

- Chemical spraying of firebreaks and low fuel zones – final applications and maintenance.
- Prune Trees – prune well around buildings, remove lower branches and check that power lines are clear. Use a professional contractor if required.
- Reduce fuel levels around the house – clear long grass, leaves, twigs and flammable shrubs.
- Ensure petrol and other flammables are safely stored, away from the main dwelling.
- Make sure your fire-fighting equipment is in good working order and serviced where required.
- Make sure all residents of your property are aware of your emergency plan, including evacuation routes.
- Move woodpiles and stacked timber away from the main dwelling.
- Keep grass short.
- Clean gutters and roof debris.
- Install firebreaks in accordance with the Firebreak Notice.
- Water lawns, trees and shrubs near the buildings to keep them green.
- Re-check firefighting equipment, screens, water supplies, and that gutters remain clear.

- Make sure that the buildings are safe – fit wirefly screens and shutters, fill gaps in roof/wall spaces, fit fire screens to evaporative air conditioners and have them operable to provide a water only supply.
- Give consideration to installing external building sprinkler systems and backup power for emergencies.
- Ensure the access to emergency water supplies has the correct fittings, is unobstructed and the route trafficable.
- Get basic training in firefighting from your local Bush Fire Brigade or even join your local Brigade.

Firebreak Contractors

Landowners, particularly absentee owners should not assume the contractor has undertaken all the work that is required to achieve compliance with the Firebreak Notice.

Regardless of any contractual relationship between the parties, the landowner remains legally responsible to ensure full compliance with the Firebreak Notice is achieved.

Acceptable Firebreak



Non Acceptable Firebreak



Prepare. Act. Survive.

Bush fires happen every summer; they can start suddenly and without warning. People have been killed or seriously injured, and homes destroyed in recent events in WA. If you live in or near bush, fire is a real risk to you and your family.

You need to understand the bush fire risk to your family and home so you can make decisions now on what you will do if a bush fire starts. Fire fighters are preparing for the bush fire season and will do everything they can to make your community safe. Many fire fighters are volunteers and take time away from their families putting themselves at risk to support you and your family.

You need to help them by developing your bush fire survival plan and preparing your home to make it as safe as possible. Whether you choose to leave for a safer place or you choose to actively defend, preparation is the key to your survival.

Information in this brochure will help you prepare your home, family and business develop a plan to act to make sure you survive. Before summer starts you need to decide what you will do if a bush fire threatens.

PREPARE your family, home or business – know your bush fire risk and have a bush fire survival plan.

ACT on the fire danger ratings – put your preparations into action, do not wait and see.

SURVIVE by monitoring conditions if a fire starts – know the bush fire warning alert levels and what you will do if you are caught in a fire.

For further information contact DFES on 1300657 209 or visit www.dfes.wa.gov.au.



Download My Bushfire Plan App

Access your bushfire plan anytime - even without an internet connection.



Council Recommendations

Council recommends that landowners consider these initiatives in addition to those that are mandatory.

- Perimeter Firebreaks be installed at Blackboy Springs and Wandering Downs
- Fit a 38mm male camlock coupling and check valve to water storage tanks
- All trees should be pruned away from buildings
- Ensure petrol and other flammables are stored safely away from buildings
- Keep grass short
- Keep gutters and roof clean and free from debris
- Fit external building sprinklers
- Consider back up power supplies
- Organise to have Shire SMS service to receive all fire announcements
- Keep emergency phone numbers in an accessible place



Emergency Numbers

FIRE • AMBULANCE • POLICE • 000
HARVEST BAN LINE 9354 1042

Fire Control Officers

	Home Ph	Mobile	VHF
CHIEF FIRE CONTROL OFFICER			
Graham Treasure*	0427841083	Wandering Town 2	
DEPUTY CHIEF FIRE CONTROL OFFICER			
Tim Treasure*	98841569	0458653521	Wandering 5
	Home Ph	Mobile	VHF
CODJATOTINE			
C Peter Monk*	98877016	0429887725	Codji 1
Brendon Hardie*		0428 225 350	Codji 2
Dean Warburton*	98841063	0429884106	Codji 3
Melvin Schorer*	98877023	0429877023	Codji 4
HASTINGS			
C Anthony Turton*	98877142	0428 876 042	Hastings 5
Richard Bostock	98877004	0426 280 068	Hastings 1
Graeme Parsons	98876022	0428876631	Hastings 2
Chad Ferguson	98841041	0427841041	Hastings 3
Adam Watts*	98876023	0419 949 223	Hastings 4
WANDERING TOWN			
C Shaun Brand* (Blackboy Springs)	0429433452	Wandering Town 1	
Graham Treasure*	0427841083	Wandering Town 2	
Brad Hunt	0403110833	Wandering Town 3	
Gary Curtis	0427610206	Wandering Town 4	
WANDERING			
C Tim Treasure*	98841569	0458653521	Wandering 5
Steve Watts*	98841051	0429887001	Wandering 2
Grant White	98841049	0428841049	Wandering 3
Jon Hardie		0466662615	Wandering 4

Shire of Wandering Contacts

Chief Executive Officer 0448 729 000
Executive Manager of Technical Services 0429 684 217

* Indicates 'Permit To Burn' Issuing Officer

C Indicates Brigade Captain



Lot 4 Mellows Road, Wandering, WA

Version 1.0

BMP No: BMP23053v1.0

Bushfire Management Plan
Proposed Development of Single Lot

Dd-Single Dwelling, Ancillary Dwelling

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Bushfire Management Plan Coversheet

Addressing the Bushfire Protection Criteria

Site Address: Lot 4 Mellows Road, Wandering, Western Australia,

Site Visit: Yes No

Date of site visit: 16th September 2022

Report Author: Dwayne Griggs, WA Fire & Safety

(BMP) Bushfire Management Plan Number: BMP 23053v1.0

BMP Date: 25th August 2023

Yes No

Has the BAL been calculated by a method other than method 1 as outlined in AS3959 (tick no if AS3959 method 1 has been used to calculate the BAL)?		X
Have any of the bushfire protection criteria elements been addressed using a performance principle (tick no if only acceptable solutions have been used to address all the bushfire protection criteria elements)?		X
Is the proposal any of the following (see SPP 3.7 for definitions)?		
Unavoidable development (in BAL-40 or BAL-FZ)		X
Strategic planning proposal (including rezoning applications)		X
High risk land-use		X
Vulnerable land-use		X

Note: Only if one (or more) of the above answers in the tables is yes should the decision maker (e.g. local government or the WAPC) refer the proposal to DFES for comment.

The information provided within this bushfire management plan to the best of my knowledge is true and correct:



Dwayne Griggs, WA Fire & Safety, 25th August 2023

Document control

Report version	Purpose	Author/reviewer and accreditation details	Date submitted
1.0	Approval of a Class 1a Dwelling & 2 non-associated Class 10a Sheds	Dwayne Griggs Level 2- BPAD40466	25 August 2023

Disclaimer

The Bushfire Management Plan prepared by WA Fire & Safety (Dwayne Griggs BPAD40466), is solely intended for the use of:

1. Current & future landowners
2. Developers & contractors engaged by the current landowners
3. Local Government Authority (LGA)

The enclosed strategies intended for the mitigation of the bushfire risk for this development are the minimum standard and the risk is assessed to the ability of the bushfire consultant and provided information from all stakeholders at the time of the accepted task.

This BMP considers the bushfire aspects of planning only and does not consider all the environmental aspects involved. A limited environmental survey has been completed and further consultation and/or approval for vegetation clearances is up to the Local Government Authority (LGA).

The setbacks and distances for the Asset Protection Zone(s) APZs should be confirmed at the time of vegetation modification for the proposed structures and after the vegetation clearance a final inspection may be required to provide a to confirm distance and issue a BAL certificate, thus ensuring the correct risk mitigation distances has been achieved, the decision for a final inspection is up to the LGA.

There is no guarantee that in the event of a bushfire that property loss will not occur, and the author has used the information provided, appropriate guidelines and due care to provide what they believe is the best possible solution to combat a relatively unpredictable fire threat.

WA Fire & Safety (Dwayne Griggs) excludes all liability for any damage, loss, injury or claim from any fire event, by the acceptance of this BMP the property owner is made aware and agrees to this exclusion of liability.

The ongoing responsibility falls on the landowner for the correct site maintenance to maintain the BAL Levels outlined inside this BMP and their continuance to mitigate the risks involved with extreme fire behaviour. The poor maintenance of vegetation, fuel loads, APZ requirements, Local government fire break notices and fire risk mitigation strategies provided within this BMP can severely impact the level of risk that a fire event can have. If the landowner believes that any factors have changed or modified the potential risk, then the bushfire consultant should be informed, and a new BMP may be required.

On submission of this BMP the landowner authorises direct contact from the LGA to the bushfire consultant for any issues, changes, or queries, contact details are below.

This Bushfire Management Plan is Valid for 3 years from the date completed.

Compliance Statement

This document has been prepared in accordance with the State Planning Policy 3.7 Planning in bushfire prone areas 2021 and the Guidelines for planning in bushfire prone areas v1.4 December 2021.

Bushfire Management Plan Author & Reviewer:
WA Fire & Safety, Maida Vale, Western Australia
Dwayne Griggs
Level 2 FPAA Accredited Practitioner
Accreditation Number: BPAD40466
Phone: 0415684681
Email Admin@wafiresafety.com.au



1.0 Introduction and Proposal Details

This BMP has been requested by the landowners for the proposed development of Lot 4 Mellows Road, Wandering, Western Australia, within the LGA Shire of Wandering.

The zoned rural lot is currently identified as inside the Bushfire Prone area. Currently this lot is in an undeveloped state.

This proposed application is for a class 1a dwelling located centrally towards the eastern end of the lot, a non-associated class 10a shed southeast of the dwelling, and a non-associated class 10a shed located in the far northwestern corner of the lot.

The assessed bushfire risk for the lot is extreme, BAL-29 is achievable for the dwelling with vegetation separation and an APZ (Asset Protection Zone) established inside the lot.

Determined BAL rating is BAL-FZ on the day of the site visit and further vegetation modification is required to achieve BAL-29.

1.1 Site Location

The proposed development is located at the end of Mellows Road. The subject lot is accessed from the south along Mellows Road and as it is a dead-end road there is no access from the north making this site only accessible via one route.

The lot is approximately 1.5kms via Mellows Road and Charlton Road from North Bannister-Wandering Road which runs north/south. North Bannister-Wandering Road leads south into the town of Wandering.

1.2 Aims and Objectives

The aim of this Bushfire Management Plan is to identify issues, requirements and provide bushfire risk mitigation measures for the proposed development. Aims for this site include:

- avoid increasing the threat to people, property and infrastructure
- reduce the developments vulnerability from extreme bushfire behaviour
- allow ingress and egress for fire and emergency services
- consider and minimize environmental impacts by reducing vegetation modification.

The objectives of this Bushfire Management Plan are to:

- demonstrate suitability for development
- display bushfire risk levels, fuels, vegetation types and the impact before and after
- show Bushfire management strategies recommended for the site
- demonstrate compliance with the bushfire protection criteria and the use of acceptable solutions for the site.

1.3 Document Preparation

Dwayne Griggs from WA Fire & Safety a BPAD Level 2 accredited practitioner with the Fire Protection Association of Australia has conducted the site assessment and prepared this BMP.

FIGURE 1: Copy of Site Plans

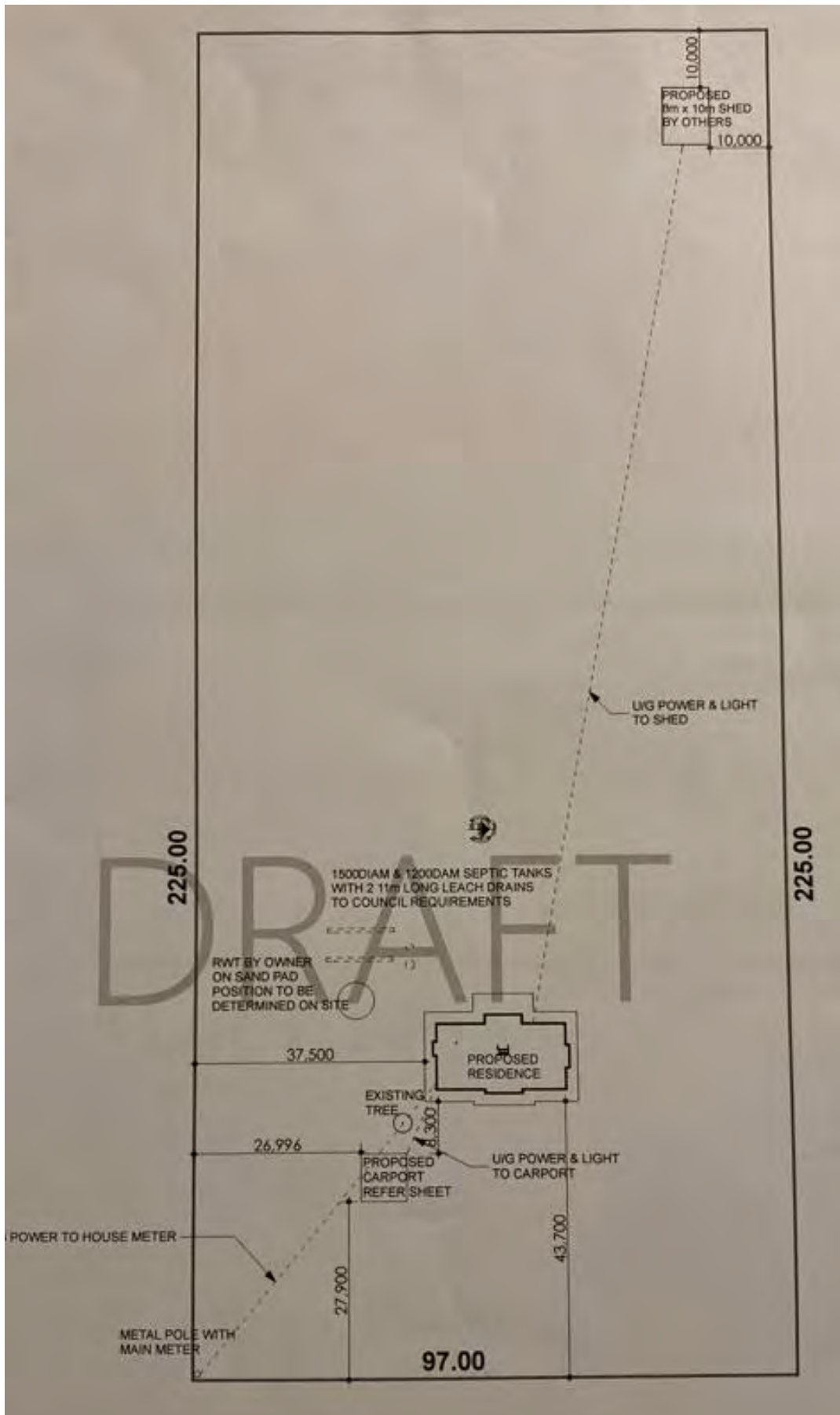
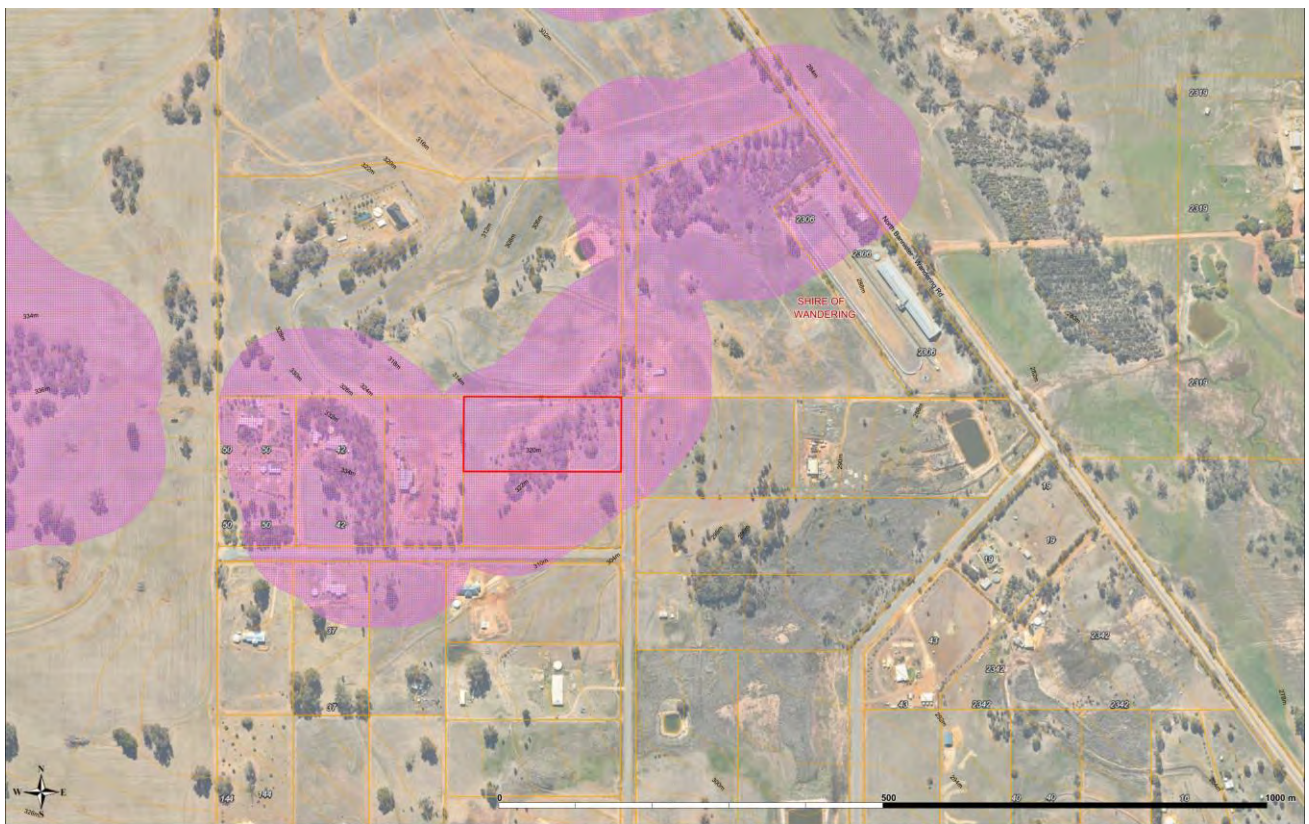


FIGURE 2: Proposed Location



FIGURE 3: Map of Bushfire Prone Areas for the subject site



Legend
Property boundary (Size) Boundary 2ha
Bushfire Prone Areas (OBRM, Dec 2021)
Local Government Authority
Other Roads
DPIRD 2m Contours

Site is entirely inside the bushfire prone area.

2.0 Environmental Considerations

Limited considerations below have been assessed with no issues:

Department of Biodiversity, Conservation and Attractions (DBCA)

Conservation category wetlands and buffer **DBCA-019**,

Augusta to Walpole **DBCA-017**

RAMSAR wetlands (**DBCA-010**)

Threatened and priority flora (**DBCA-036**)

Threatened Ecological Communities (**DBCA-038**)

Department of Planning, Lands and Heritage

Bush Forever areas 2000 (**DOP-071**)

Department of Water and Environmental Resources (DWER)

Clearing regulations – Environmentally Sensitive Areas (**DWER-046**)

Swan Bioplan Regionally Significant Natural Areas 2010 (**DWER-070**)

Department of Primary Industries and Regional Development (DPIRD)

Conservation Covenants Western Australia (**DPIRD-023**)

2.1 Native vegetation – Modification and Clearing

Vegetation modification is required to achieve BAL-29 within the proposed lot.

The area of 0.380 ha of class A Forest will be required to be modified to the Schedule 1 of the Guidelines for Planning in Bushfire Prone Areas – Appendices (appendix 1) and the requirements of the Local Government Authority Firebreak Notice (Appendix 2) in order to establish and APZ of BAL-29.

There are no alternative bushfire management design solutions that will reduce the extent of vegetation clearing as the dwelling location has been provided to minimise vegetation modification using minimum setbacks to the north while providing suitable access in and out without restriction.

The proposed layout will result in an appropriate balance between bushfire risk mitigation and vegetation retention, the already established driveway and proposed turn-around area is inside the proposed APZ.

2.2 Revegetation/Landscape Plans

Revegetation inside the APZ will be designed and maintained as per the standards for APZ's (Appendix 1) and the Local Government Authority Firebreak Notice (Appendix 2)

Landscaping plans have not been provided; the intention is to have the existing native vegetation modified to a low threat state inside the APZ as per the Standard for APZ's (Appendix 1).

3.0 Bushfire Assessment Results

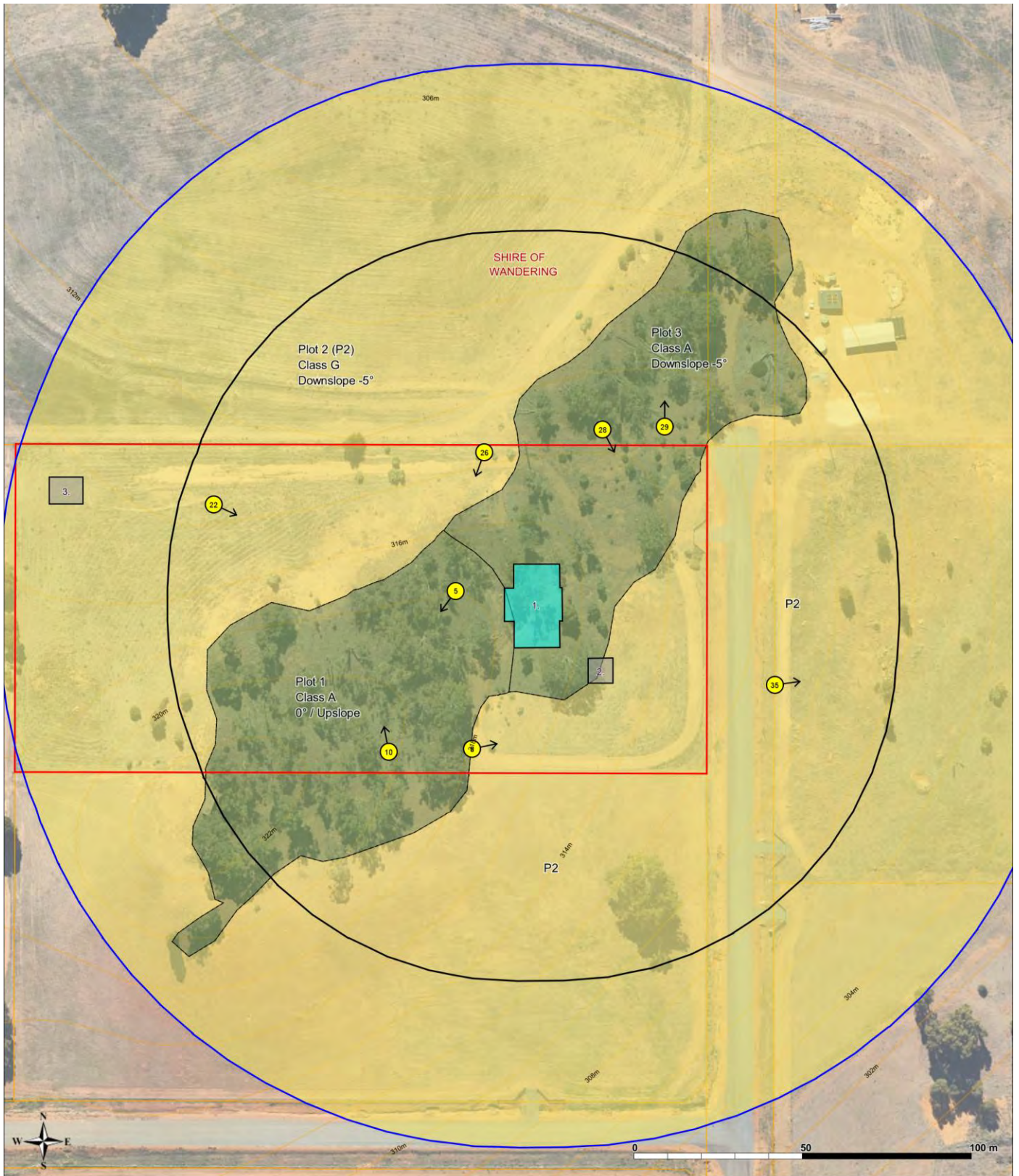
The site requires a BAL assessment in accordance with clause 6.5 of SPP 3.7. The assessment of this site or development was undertaken by Dwayne Griggs of WA Fire & Safety, a BPAD Accredited Level 2 Practitioner for the purpose of determining the Bushfire Attack Level in accordance with AS 3959 - 2018 Simplified Procedure (Method 1). All vegetation within 150m of the proposed site has been assessed and classified in accordance with AS3959.

3.1 Vegetation Classification

Vegetation and land use within 150 m of the site has been classified as per descriptions included in AS 3959 – 2018 Construction of Buildings within Bushfire Prone Areas.


All vegetation inside the 150m Vegetation survey is either Class A Forest or Class G Grassland.

FIGURE 5: Vegetation Classification Map



Legend

- | | | | | |
|---|--|---|--|--|
| <ul style="list-style-type: none"> ● Photo points □ 100m □ 150m Vegetation Survey Exc 2.2.2.2(a) □ 150m | <ul style="list-style-type: none"> Property boundary(Size) □ Boundary 2ha Buildings □ 1. Class 1a Dwelling | <ul style="list-style-type: none"> □ 2. Class 10a Non-Associated Carport □ 3. Class 10a Non-Associated Shed | <ul style="list-style-type: none"> Vegetation 0-150m ALL ■ A. Forest, -5 ■ A. Forest, 0 | <ul style="list-style-type: none"> ■ G. Grassland, -5 Local Government Authority Other Roads DPIRD 2m Contours |
|---|--|---|--|--|

Photo ID:	5	Plot:	1	BRG: 212°S (T) POS: -32.657022, 116.65193 ±3 m ALT: 300 m  <p>Wandering WAFS JM Lot 4 Mellows Rd 16 Sept 2022, 11:31:37</p>
Vegetation Classification or Exclusion Clause				
Class A Forest				
Description / Justification for Classification				
Overstorey up to 30m in height Canopy Cover of 30-70% Understorey of Low Trees, Shrubs, Scrub and Grasses High surface, Near surface and Intermediate Fuel loads Contains rocky outcrops				
Photo ID:	10	Plot:	1	
Vegetation Classification or Exclusion Clause				
Class A Forest				
Description / Justification for Classification				

<p>Overstorey up to 30m in height Canopy Cover of 30-70% Understorey of Low Trees, Shrubs, Scrub and Grasses High surface, Near surface and Intermediate Fuel loads Contains rocky outcrops</p>	<p>BRG: 346°NW (T) POS: -32.657454, 116.651716 ±3 m ALT: 303 m</p>  <p>Wandering WAFS JM Lot 4 Mellows Rd 16 Sept 2022, 11:33:25</p>		
<p>Photo ID:</p>	<p>22</p>	<p>Plot:</p>	<p>2</p>
<p>Vegetation Classification or Exclusion Clause</p>			
<p>Class G Grassland</p>			
<p>Description / Justification for Classification</p>			

<p>Grassland of >100mm in Height Canopy Cover of Less than 10% Understorey of Grasses Minimal surface, Near surface and Intermediate Fuel loads</p>	<p>BRG: 114°E (T) POS: -32.65679, 116.651158 ±3 m ALT: 299 m</p>  <p>Wandering WAFS JM Lot 4 Mellows Rd 16 Sept 2022, 11:38:20</p>				
<table border="1"> <tr> <td>Photo ID:</td> <td>26</td> <td>Plot:</td> <td>2</td> </tr> </table>	Photo ID:	26	Plot:	2	
Photo ID:	26	Plot:	2		
<p>Vegetation Classification or Exclusion Clause</p>					
<p>Class G Grassland</p>					
<p>Description / Justification for Classification</p>					

<p>Grassland of >100mm in Height Canopy Cover of Less than 10% Understorey of Grasses Minimal surface, Near surface and Intermediate Fuel loads</p>	<p>BRG: 200°S (T) POS: -32.65665, 116.652021 ±2 m ALT: 298 m</p>  <p>Wandering WAFS JM</p> <p>Lot 4 Mellows Rd 16 Sept 2022, 11:40:08</p>		
<p>Photo ID:</p>	<p>8</p>	<p>Plot:</p>	<p>2</p>
<p>Vegetation Classification or Exclusion Clause</p>			
<p>Class G Grassland</p>			
<p>Description / Justification for Classification</p>			

Grassland of >100mm in Height
Canopy Cover of Less than 10%
Understorey of Grasses
Minimal surface, Near surface and
Intermediate Fuel loads


BRG: 78°NE (T) POS: -32.657446, 116.651982 ±3 m ALT: 302 m




Wandering
WAFS JM

Lot 4 Mellows Rd
16 Sept 2022, 11:32:32

Photo ID:	35	Plot:	2	BRG: 85°E (T) POS: -32.657274, 116.652947 ±3 m ALT: 294 m	
Vegetation Classification or Exclusion Clause					
Class G Grassland					
Description / Justification for Classification					
Grassland of >100mm in Height Canopy Cover of Less than 10% Understorey of Grasses Minimal surface, Near surface and Intermediate Fuel loads				Wandering WAFS JM	
				Lot 4 Mellows Rd 16 Sept 2022, 11:43:34	
Photo ID:	28	Plot:	3		
Vegetation Classification or Exclusion Clause					
Class A Forest					
Description / Justification for Classification					

<p>Overstorey up to 30m in height Canopy Cover of 30-70% Understorey of Low Trees, Shrubs, Scrub and Grasses High surface, Near surface and Intermediate Fuel loads Contains rocky outcrops</p>	<p>BRG: 152°SE (T) POS: -32.656589, 116.652398 ±2 m ALT: 298 m</p>  <p>Wandering WAFS JM Lot 4 Mellows Rd 16 Sept 2022, 11:40:41</p>		
<p>Photo ID:</p>	<p>29</p>	<p>Plot:</p>	<p>3</p>
<p>Vegetation Classification or Exclusion Clause</p>			
<p>Class A Forest</p>			
<p>Description / Justification for Classification</p>			

<p>Overstorey up to 30m in height Canopy Cover of 30-70% Understorey of Low Trees, Shrubs, Scrub and Grasses High surface, Near surface and Intermediate Fuel loads Contains rocky outcrops</p>	<p>BRG: 0°N (T) POS: -32.656581, 116.652596 ±2 m ALT: 298 m</p>  <p>Wandering WAFS JM Lot 4 Mellows Rd 16 Sept 2022, 11:40:57</p>
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3.2 Slope

This site is on the side of a hill sloping down to the northeast and east no more than -5° downslope.

Table 3A: Vegetation Classification and Slopes

Plot	Vegetation Classification	Effective Slope
1	Class A - Forest	0/Upslope
2	Class G Grassland	0-5 Downslope
3	Class A - Forest	0-5 Downslope

3.3 Fire Danger Index

The nominated fire danger index (FDI) for Western Australia is 80.

3.4 BAL-Assessment

Table 3B provides the distances and determined radiant heat impact in the form of a BAL rating before vegetation modification or the establishment of APZ.

Table 3B: Determined BAL Ratings

1. Class 1a Dwelling

Plot	Vegetation Classification	Effective Slope in Degrees	Separation (m)	BAL
1	Class A - Forest	0/Upslope	0	BAL – FZ
2	Class G Grassland	0-5 Downslope	13	BAL – 29
3	Class A - Forest	0-5 Downslope	0	BAL – FZ

2. Class 10a Non-Associated Shed

Plot	Vegetation Classification	Effective Slope in Degrees	Separation (m)	BAL
1	Class A - Forest	0/Upslope	22	BAL – 29
2	Class G Grassland	0-5 Downslope	0	BAL – FZ
3	Class A - Forest	0-5 Downslope	0	BAL – FZ

3. Class 10a Non-Associated Shed

Plot	Vegetation Classification	Effective Slope in Degrees	Separation (m)	BAL
1	Class A - Forest	0/Upslope	57	BAL – 12.5
2	Class G Grassland	0-5 Downslope	0	BAL – FZ
3	Class A - Forest	0-5 Downslope	107	BAL – LOW

Figure 6: Determined BAL Ratings

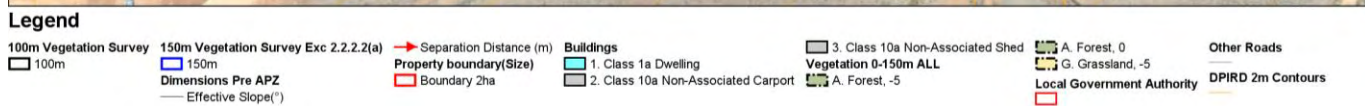
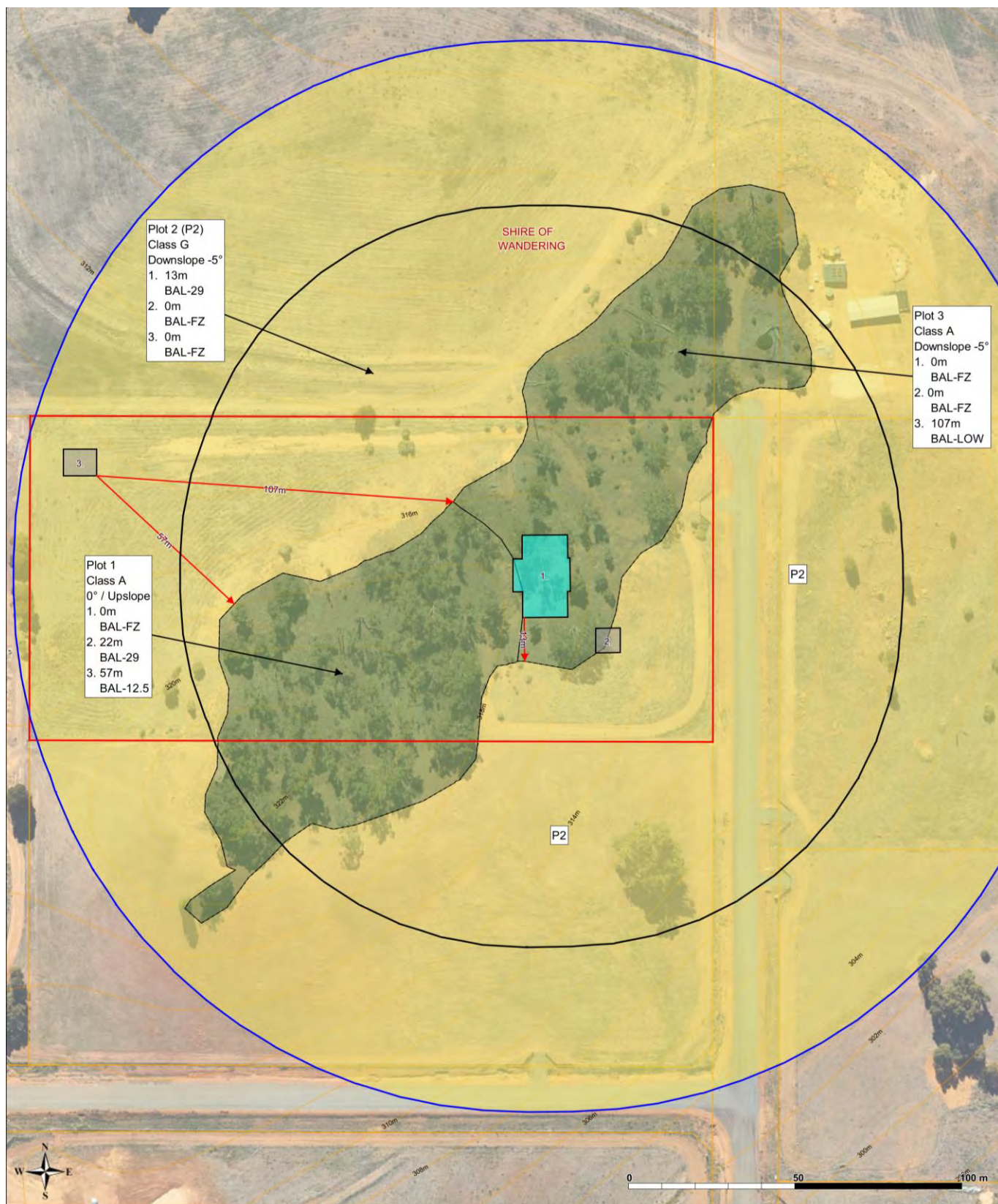


Table 3C provides the indicative BAL rating after the proposed APZ has been established inside the lot boundary.

Table 3C: Indicative BAL ratings and APZ distances

1. Class 1a Dwelling

Plot	Vegetation Classification	Effective Slope in Degrees	Separation (m)	BAL
1	Class A - Forest	0/Upslope	27	BAL – 29
2	Class G Grassland	0-5 Downslope	27	BAL – 12.5
3	Class A - Forest	0-5 Downslope	27	BAL – 29

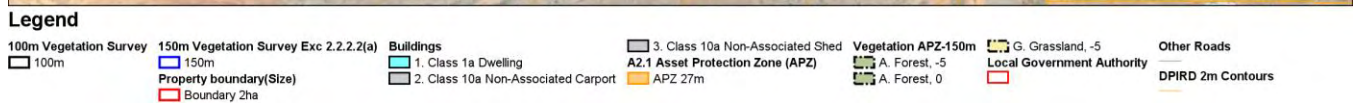
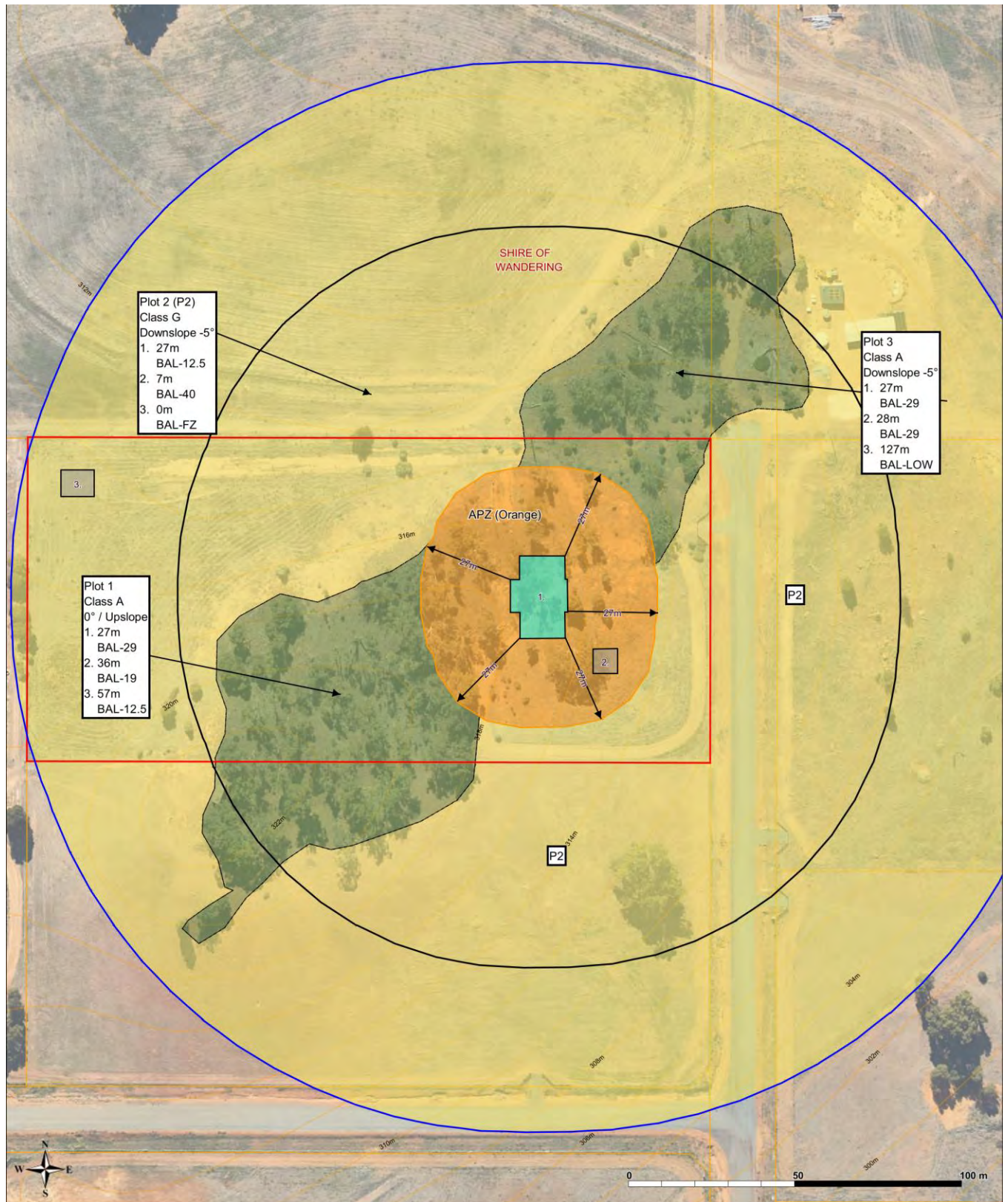
2. Class 10a Non-Associated Shed

Plot	Vegetation Classification	Effective Slope in Degrees	Separation (m)	BAL
1	Class A - Forest	0/Upslope	36	BAL – 19
2	Class G Grassland	0-5 Downslope	7	BAL – 40
3	Class A - Forest	0-5 Downslope	28	BAL – 29

3. Class 10a Non-Associated Shed

Plot	Vegetation Classification	Effective Slope in Degrees	Separation (m)	BAL
1	Class A - Forest	0/Upslope	57	BAL – 12.5
2	Class G Grassland	0-5 Downslope	0	BAL – FZ
3	Class A - Forest	0-5 Downslope	127	BAL – LOW

Figure 7 Prescribed BAL Ratings with APZ established.



3.5 Additional Bushfire Hazard Issues

Below are the identified bushfire hazard issues relating to this site:

- The development is bounded by class A Forest on all sides except the southeast. The vegetation is <10m from the walls of the proposed structures before APZ is established.
- Asset Protection Zones are to be established and maintained in perpetuity to ensure the class 1a dwelling will maintain BAL-29.
- The indicative BAL ratings are to demonstrate compliance only and will need to be established during the building process.
- As this development is above BAL-LOW the relevant bushfire protection criteria apply and will need to be addressed (section 4.0).

4.0 Compliance and Justifications

4.1 SPP 3.7 Objectives and Application of Policy Measures

The intent of *State Planning Policy (SPP) 3.7 Planning in Bushfire Prone Areas* (Department of Planning and Western Australian Planning Commission, 2015) is to ensure that bushfire risks are considered in a timely manner and that planning documents demonstrate the appropriate application of the various policy measures. Table 3 summarises the intent and objectives of SPP 3.7 and provides evidence of how the site complies.

Table 3: Evidence of compliance with SPP 3.7 intent and objectives

SPP Reference	Description	Evidence of Compliance
Intent	<ul style="list-style-type: none"> ▪ Ensure that risks associated with bushfires are planned using a risk-based approach 	<ul style="list-style-type: none"> ▪ Preparation of a bushfire management plan in accordance with SPP 3.7 ▪ BAL assessment indicates risks associated with bushland are manageable
Objective 1	<ul style="list-style-type: none"> ▪ Avoid any increase in the threat of bushfire to people, property and infrastructure 	<ul style="list-style-type: none"> ▪ BAL assessment indicates risks associated with bushland are manageable ▪ Structures within 100 m of vegetation assigned BAL-rating as per AS-3959 – 2018
Objective 2	<ul style="list-style-type: none"> ▪ Reduce vulnerability to bushfire 	<ul style="list-style-type: none"> ▪ BAL assessment indicates risks associated with bushland are manageable ▪ Structures within 100 m of vegetation assigned BAL-rating as per AS-3959 – 2018
Objective 3	<ul style="list-style-type: none"> ▪ Ensure that higher order strategic planning documents and proposals consider bushfire protection requirements at an early stage 	<ul style="list-style-type: none"> ▪ Planning at the site is largely complete, with bushfire risk being considered at an appropriate stage of the development ▪ This bushfire management plan documents the risks as they stand
Objective 4	<ul style="list-style-type: none"> ▪ Achieve an appropriate balance between bushfire risk management and biodiversity conservation 	<ul style="list-style-type: none"> ▪ Biodiversity values will remain in the surrounding bushland area ▪ Site environmental values have been considered during previous stages of the planning approvals process

4.2 Compliance table

The Bushfire protection criteria have been provided to assist in the assessment of proposed bushfire risk management measures required for development applications in bushfire prone areas. Table 4 demonstrates the Site's Compliance with Bushfire Protection Criteria.

Bushfire Management Plan – BAL Assessment

Table 4: Compliance with bushfire protection criteria

Bushfire protection criteria Intent	Acceptable solutions	Proposed bushfire management strategies/solutions
<p>Element 1: Location</p> <p>Ensure that strategic planning proposals, subdivision and development applications are located in areas with the least possible risk of bushfire to facilitate the protection of people, property and infrastructure</p>	<p>A1.1 Development location</p> <ol style="list-style-type: none"> 1. Bushfire hazard level is or on completion will be moderate or low or 2. BAL Rating is BAL-29 or lower 	<p>BMP concludes that with appropriate vegetation modification and APZ establishment a BAL-29 rating is possible.</p>
<p>Element 2: Siting and design</p> <p>To ensure that the siting and design of development minimises the level of bushfire impact</p>	<p>A2.1 Asset Protection Zone</p> <p>Every habitable building is surrounded by, and every proposed lot can achieve an APZ depicted on plans that meets the following:</p> <ol style="list-style-type: none"> 1. Width – bushfire radiant heat does not exceed radiant heat of 29 kW/m² (BAL-29) as measured from any external wall or supporting post or column in all circumstances 2. Location – APZ contained solely within the boundaries of the lot on which the building is situated, except in instances where the neighbouring lot(s) will be managed in a low-fuel state on an ongoing basis, in perpetuity 3. Management – the APZ is managed in accordance with the requirements of Schedule 1 ‘Standards for Asset Protection Zones’ (BMP Appendix 1) 	<p>APZ is to be established and maintained in perpetuity to:</p> <ol style="list-style-type: none"> 1. 27m inside lot <p>APZ has been designed to minimise environmental impact within the lot boundary and position the dwelling at the furthest distance from the south.</p> <p>APZ’s are to be maintained in perpetuity in accordance with:</p> <ol style="list-style-type: none"> 1. Schedule 1 of the Guidelines for Planning in Bushfire Prone Areas (Appendix 1) and 2. Local Government Authority Firebreak Notice (Appendix 2).
<p>Element 3: Vehicular access</p>	<p>A3.1 Public Roads</p> <p>Minimum requirements under the acceptable solution are applicable to all proposed and existing roads.</p>	<p>N/A</p> <p>N/A</p>

Bushfire protection criteria Intent	Acceptable solutions	Proposed bushfire management strategies/solutions
Vehicular access servicing a subdivision/development is available and safe during a bushfire event	<ol style="list-style-type: none"> Public Roads are to meet minimum technical requirements in Table 6, Column 1 (BMP Appendix 3) <p> SP – Strategic planning proposal and structure plan where the lot layout is not known Sb – Structure plan where the lot layout is known and subdivision application Do – Development application for any other development </p>	N/A
	<p>A3.2a Multiple Access Routes Public road access is to be provided in two different directions to at least two different destinations with an all-weather surface (Two Way Access)</p> <ol style="list-style-type: none"> If the public road access to the subject site is via a no-through road which cannot be avoided due to demonstrated site constraints, the road access is to be a maximum of 200m from the subject lot(s) boundary to and intersection providing two way access. The no-through road may exceed 200 metres if it is demonstrated that an alternative access, including an emergency access way, cannot be provided due to site constraints and the following requirements are met: <ol style="list-style-type: none"> the no-through road travels towards a suitable destination; and the balance of the no-through road, that is greater than 200 metres from the subject site, is wholly within BAL-LOW, or is within a residential built-out area <p> SP – Strategic planning proposal and structure plan where the lot layout is not known Sb – Structure plan where the lot layout is known and subdivision application Do – Development application for any other development </p>	N/A

Bushfire protection criteria Intent	Acceptable solutions	Proposed bushfire management strategies/solutions
	<p>A3.2b Emergency Access Way</p> <p>Where it is demonstrated that A3.2a cannot be achieved due to site constraints, or where an alternative design option does not exist, an emergency access way can be considered as an acceptable solution.</p> <p>An emergency access way is to meet all the following requirements:</p> <ol style="list-style-type: none"> 1. requirements in Table 6, Column 2 (BMP Appendix 3); 2. provides a through connection to a public road. 3. be no more than 500 metres in length; and 4. must be signposted and if gated, gates must open the whole trafficable width and remain unlocked. <p>SP – Strategic planning proposal and structure plan where the lot layout is not known Sb – Structure plan where the lot layout is known and subdivision application Do – Development application for any other development</p>	<p>N/A</p>
	<p>A3.3 Through Roads</p> <p>All public roads should be through-roads. No-through roads should be avoided and should only be considered as an acceptable solution where:</p> <ol style="list-style-type: none"> 1. it is demonstrated that no alternative road layout exists due to site constraints; and 2. the no-through road is a maximum length of 200 metres to an intersection providing 3. two-way access, unless it satisfies the exemption provisions in A3.2a of this table. 4. A no-through road is to meet all the following requirements: 5. requirements of a public road Table 6, Column 1 (BMP Appendix 3); and 6. turn-around area as shown in (BMP Appendix 3) <p>SP – Strategic planning proposal and structure plan where the lot layout is not known Sb – Structure plan where the lot layout is known and subdivision application</p>	<p>N/A</p>

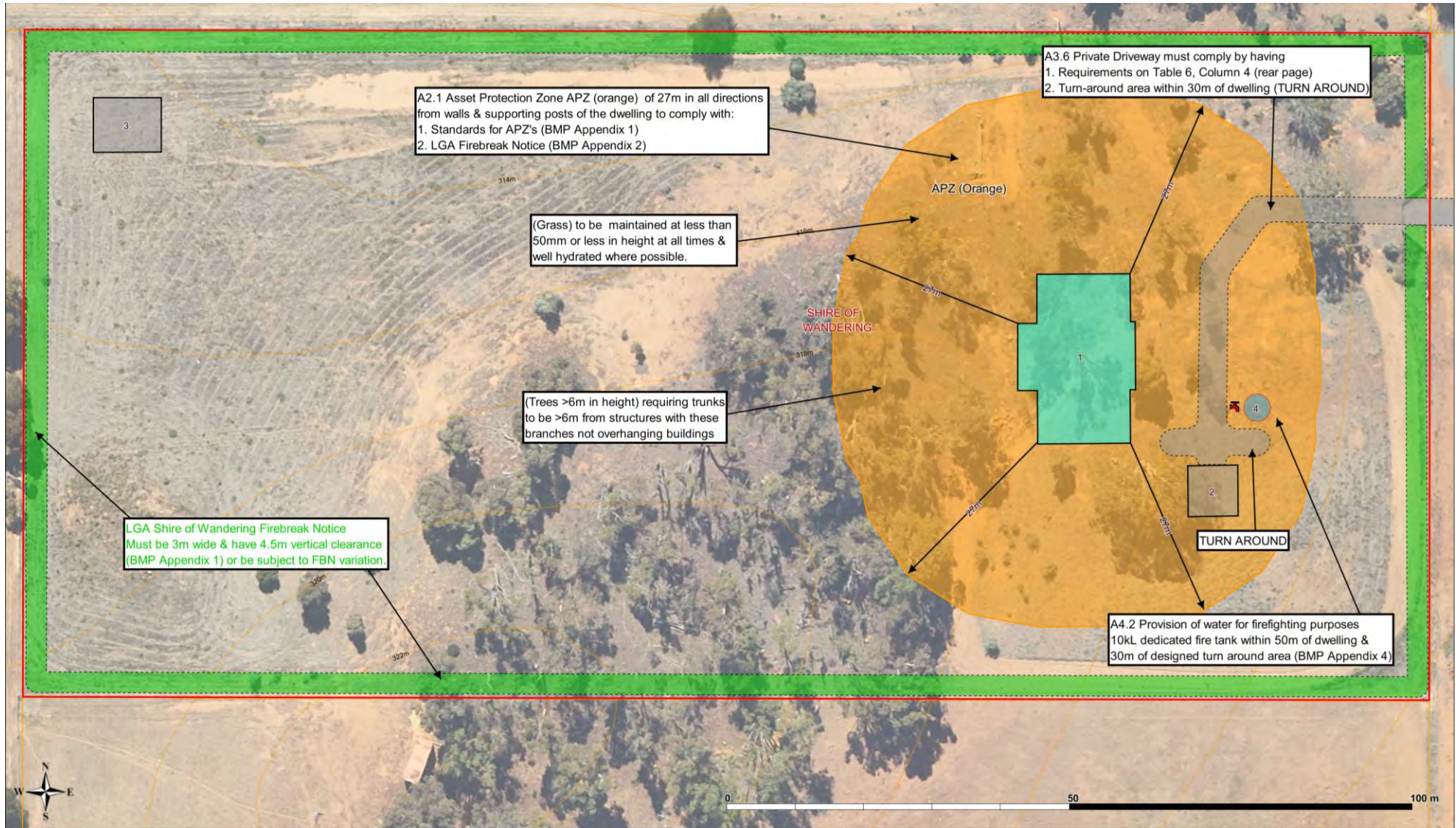
Bushfire protection criteria Intent	Acceptable solutions	Proposed bushfire management strategies/solutions
	<p>A3.4a Perimeter roads</p> <p>A perimeter road is a public road and should be provided for greenfield or infill development where 10 or more lots are being proposed (including staged subdivision) with the aim of:</p> <ol style="list-style-type: none"> 1. Separating areas of classified vegetation under AS3959, which adjoin the subject site, from the proposed lot(s) and 2. Removing the need for battle-axe lots that back onto the areas of classified vegetation <p>A perimeter road is to meet the requirements contained in Table 6, Column 1 (BMP Appendix 3)</p> <p>A Perimeter Road may not be required where:</p> <ol style="list-style-type: none"> 1. The adjoining classified vegetation is class G 2. Lots are zoned for rural living or equivalent 3. It is demonstrated that it cannot be provided due to site constraints; or 4. All lots have frontage to an existing public road <p>SP – Strategic planning proposal and structure plan where the lot layout is not known Sb – Structure plan where the lot layout is known and subdivision application</p>	N/A
	<p>A3.4b Fire service access route (FSA)</p> <p>Where proposed lots adjoin classified vegetation under AS3959, and a perimeter road is not required in accordance with A3.4a, a FSA route can be considered as an acceptable solution to provide fire fighter access, where access is not available to the classified vegetation.</p> <p>FSA is to meet all the following requirements:</p>	N/A

Bushfire protection criteria Intent	Acceptable solutions	Proposed bushfire management strategies/solutions
	<ol style="list-style-type: none"> 1. Table 6, column 3 (BMP Appendix 3) 2. Be “through roads” with no dead ends 3. Linked to an internal road system at regular intervals, every 500 metres 4. Be signposted 5. No further than 500 metres to a public road 6. If gated, gates must open the required horizontal clearance and can be locked by the LGA or emergency services, if keys are provided for each gate 7. Have turn-around areas for 3.4 fire appliances every 500m <p>SP – Strategic planning proposal and structure plan where the lot layout is not known Sb – Structure plan where the lot layout is known and subdivision application</p>	
	<p>A3.5 Battle-axe access legs Where it is demonstrated that a battle-axe cannot be avoided due to site constraints, it can be considered as an acceptable solution.</p> <p>There are no battle-axe technical requirements where the point the battle-axe access leg joins the effective area of the lot, is less than 50 metres from a public road in a reticulated area.</p> <p>In circumstances where the above condition is not met, or the battle-axe is in a non-reticulated water area, the battle-axe is to meet all the following requirements:</p> <ol style="list-style-type: none"> 1. requirements in Table 6, Column 4; and 2. passing bays every 200 metres with a minimum length of 20 metres and a 3. minimum additional trafficable width of two metres (i.e. the combined trafficable 4. width of the passing bay and constructed private driveway to be a minimum six metres). <p>See (BMP Appendix 3 E3.5) Sb – Structure plan where the lot layout is known and subdivision application</p>	N/A

Bushfire protection criteria Intent	Acceptable solutions	Proposed bushfire management strategies/solutions
	<p>A3.6 Private Driveways There are no private driveway technical requirements where the private driveway is:</p> <ol style="list-style-type: none"> 1. within a lot serviced by reticulated water. 2. no greater than 70 metres in length between the most distant external part of the development site and the public road measured as a hose lay; and 3. accessed by a public road where the road speed limit is not greater than 70 km/h. <p>In circumstances where all of the above conditions are not met, or the private driveway is in a non-reticulated water area, the private driveway is to meet all the following requirements:</p> <ol style="list-style-type: none"> 1. Requirements in Table 6, Column 4; 2. Passing bays every 200 metres with a minimum length of 20 metres and a minimum additional trafficable width of two metres (i.e. the combined trafficable width of the passing bay and constructed private driveway to be a minimum six metres); and 3. Turn-around area as shown in (BMP Appendix 3, E3.6) and within 30 metres of the habitable building. <p>See BMP Appendix 3, E3.6</p> <p>Dd – Development application for a single dwelling, ancillary dwelling or minor development Do – Development application for any other development</p>	<p>A3.6 Private Driveways to meet the following.</p> <ol style="list-style-type: none"> 1. Requirements in Table 6, Column 4. 2. Turn-around area as shown in (BMP Appendix 3, E3.6) and within 30 metres of the habitable building. <p>BMP Appendix 3, E3.6</p>
<p>Element 4: Water Water is available to the subdivision, development or land use to enable people, property and infrastructure to be defended from bushfire</p>	<p>A4.1 Identification of future water supply Evidence that a reticulated or sufficient non-reticulated water supply for bushfire fighting can be provided at the subdivision and/or development application stage, in accordance with the specifications of the relevant water supply authority or the requirements of Schedule 2 (BMP Appendix 4, Schedule 2).</p> <p>Where the provision of a strategic water tank(s) is required a suitable area within a road reserve or a dedicated lot the location should be identified, should be</p>	<p>N/A</p>

Bushfire protection criteria Intent	Acceptable solutions	Proposed bushfire management strategies/solutions
	<p>identified on the structure plan, to the satisfaction of the local government.</p> <p>SP – Strategic planning proposal and structure plan where the lot layout is not known</p> <p>A4.2 Provision of water for firefighting purposes Where a reticulated water supply is existing or proposed, hydrant connection(s) should be provided in accordance with the specifications of the relevant water supply authority. Where these specifications cannot be met, then the following applies:</p> <ol style="list-style-type: none"> 1. The provision of a water tank(s), in accordance with the requirements of Schedule 2 (BMP Appendix 4, Schedule 2); and 2. Where the provision of a strategic water tank(s) is applicable, then the following requirements apply: 3. land to be ceded free of cost to the local government for the placement of the tank(s); 4. the lot or road reserve where the tank is to be located is identified on the plan of subdivision. 5. tank capacity, construction, and fittings, provided in accordance with the requirements of Schedule 2(BMP Appendix 4, Schedule 2); and 6. a strategic water tank is to be located no more than 10 minutes from the subject site (at legal road speeds). <p>Where a subdivision includes an existing habitable building(s) that is to be retained, a water supply should be provided to this existing habitable building(s), in accordance with the requirements listed above.</p> <p>Sb – Structure plan where the lot layout is known and subdivision application Dd – Development application for a single dwelling, ancillary dwelling or minor development Do – Development application for any other development that is not a single dwelling, ancillary dwelling or minor development</p>	<ol style="list-style-type: none"> 1. Water tank with 10,000L capacity (per dwelling), constructed of steel or able to maintain integrity though a bushfire 2. 50mm male camlock coupling with full flow valve shielded from the bushfire hazard by facing away from the threat and towards the emergency vehicle access. 3. Having unobstructed hardened ground provided 4m from water supply point where emergency vehicles can freely move. 4. Within 50m of the dwelling and 30m from the turn around area. 5. As per BMP Schedule 2, Appendix 4

5.0 Bushfire Management Strategies



Property boundary(Size)		Buildings		FBN - Firebreaks		A3.6 Private Drive >70m		A4.2 NonReticulated/Single Lot Water		A2.1 Asset Protection Zone (APZ)		Local Government Authority		Other Roads		DPIRD 2m Contours	
Boundary 2ha	1. Class 1a Dwelling	2. Class 10a Non-Associated Carport	3. Class 10a Non-Associated Shed	3m (w) & 4.5m (vc)	4m (w) & 4.5m (vc)	50mm Camlock Coupling	4. 10kL Dedicated Fire Water Supply	APZ 27m									

6.0 Roles & Responsibilities

Responsibilities & implementation measure for the proposed development, these are shared by the Current and future landowners, project developer and the Local Government Authority (LGA).

Table 5: Roles & Responsibilities

DEVELOPER/LANDOWNER/CONSULTANT – PRIOR TO USE	
No.	Implementation action
1	A notification, pursuant to Section 165 of the Planning and Development Act 2005, is required to be placed on the certificate(s) of title of the proposed lot(s) with a Bushfire Attack Level (BAL) rating of 12.5 or above, advising of the existence of a hazard or other factor. Notice of this notification is to be included on the diagram or plan of survey (deposited plan). The notification is to state as follows “This land is within a bushfire prone area as designated by an Order made by the Fire and Emergency Services Commissioner and is/may be subject to a Bushfire Management Plan. Additional planning and building requirements may apply to development on this land.” (Western Australian Planning Commission).
2	Establish an Asset Protection Zone (APZ) to the dimensions (Table 4 A2.1), primarily to the dimensions & standard stated in this BMP (table 4, A2.1), Schedule 1 of the Guidelines for Planning in Bushfire Prone Areas (Appendix 1) and to the requirements outlined in the Local Government Authority Firebreak Notice (Appendix 2).
3	Maintain the firebreaks to required standard in perpetuity as per Local Government Authority Firebreak Notice (Appendix 2)
4	Install a tank with a Minimum 10kL firefighting reserve as per (table 4 A4.3) and the standard stated in BMP within 50m of dwelling (appendix 4).
5	Construct / maintain all driveways and turn around areas to the standard stated in this BMP including a width of 4m and turnaround within 30m of dwelling. (table 4 A3.6) and the standard stated in BMP (Appendix 3) and Table 6, column 3 and A3.6 of the Guidelines for Planning in Bushfire Prone Areas – Appendices
LANDOWNER – ONGOING	
No.	Management action
1	Maintain an Asset Protection Zone (APZ) to the dimensions (Table 4 A2.1), primarily to the dimensions & standard stated in this BMP (table 4, A2.1), Schedule 1 of the Guidelines for Planning in Bushfire Prone Areas (Appendix 1) and also to the requirements outlined in the Local Government Authority Firebreak Notice (Appendix 2).
2	Maintain the firebreaks and comply with the relevant Local Government Authority (LGA) annual firebreak notice issued under s33 of the Bush Fires Act 1954 to required standard in perpetuity as per Local Government Authority Firebreak Notice (Appendix 2).
3	Maintain functionality, couplings, hard stand to 4m, accessibility and level of fire water tank as per (table 4 A4.2) and the standard stated in BMP (See Appendix 4 E4.2).
5	Maintain vehicular access routes driveways, turnaround points, and defendable spaces within the lot to allow free movement for emergency personnel as per (table 4 A3.5 & A3.6) and the standard stated in BMP (See Appendix 3 Table 6, Column 4 – E3.5 & E3.6).
LOCAL GOVERNMENT AUTHORITY (LGA) – ONGOING MANAGEMENT	

No.	Management action
1	Fuel load reduction and management of surrounding vegetation and reserves, where required.
2	Inspection and issue of works orders or fines for non-compliance, this includes firebreaks, access, APZ and water supply.

Bushfire Management Plan Appendices

Appendix 1 – Information and SPP3.7, Schedule 1 - Standards for APZ's

An APZ is an area surrounding a building that is managed to reduce the bushfire hazard to an acceptable level. The width of the required APZ varies with slope and vegetation. The APZ should at a minimum be of sufficient size to ensure the potential radiant heat impact of a fire does not exceed 29kW/m² (BAL-29). It should be lot specific and will extend from the walls and supporting posts of a dwelling or any structure that is associated (<6m) from the dwelling.



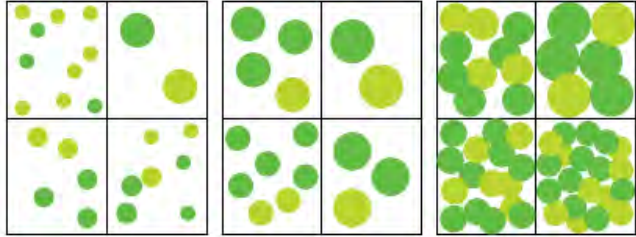
The APZ includes a defensible space which is an area adjoining the asset within which firefighting operations can be undertaken to defend the structure. Vegetation within the defensible space should be kept at an absolute minimum and the area should be free from combustible items and obstructions. The width of the defensible space is dependent on the area which is available on the property, but as a minimum should be 3 metres.

The APZ should be contained solely within the boundaries of the lot on which the building is situated, except in instances where the neighbouring lot or lots will be managed in a low-fuel state on an ongoing basis, in perpetuity or rating of BAL-29 or less is achieved.

APZs can adversely affect the retention of native vegetation. Where the loss of vegetation is not acceptable or causes conflict with landscape or environmental objectives, such as waterway foreshore areas and wetland buffers, reducing lot yield may be necessary in order to minimise the removal and modification of remnant vegetation.

It is the responsibility of the landowner/proponent to maintain their APZ in accordance with Schedule 1 'Standards for Asset Protection Zones'. It is further recommended that maintenance of APZs is addressed through the local government firebreak notice, issued under s33 of the Bushfires Act 1954, and preferably included in a Bushfire Management Plan specifically as a how-to guide for the landowner.

SCHEDULE 1: STANDARDS FOR ASSET PROTECTION ZONES

OBJECT	REQUIREMENT
Fences within the APZ	<ul style="list-style-type: none"> Should be constructed from non-combustible materials (for example, iron, brick, limestone, metal post and wire, or bushfire-resisting timber referenced in Appendix F of AS 3959).
Fine fuel load (Combustible, dead vegetation matter <6 millimetres in thickness)	<ul style="list-style-type: none"> Should be managed and removed on a regular basis to maintain a low threat state. Should be maintained at <2 tonnes per hectare (on average). Mulches should be non-combustible such as stone, gravel or crushed mineral earth or wood mulch >6 millimetres in thickness.
Trees* (>6 metres in height)	<ul style="list-style-type: none"> Trunks at maturity should be a minimum distance of six metres from all elevations of the building. Branches at maturity should not touch or overhang a building or powerline. Lower branches and loose bark should be removed to a height of two metres above the ground and/or surface vegetation. Canopy cover within the APZ should be <15 per cent of the total APZ area. Tree canopies at maturity should be at least five metres apart to avoid forming a continuous canopy. Stands of existing mature trees with interlocking canopies may be treated as an individual canopy provided that the total canopy cover within the APZ will not exceed 15 per cent and are not connected to the tree canopy outside the APZ. <p data-bbox="587 1149 1098 1216">Figure 19: Tree canopy cover – ranging from 15 to 70 per cent at maturity</p> 
Shrub* and scrub* (0.5 metres to six metres in height). Shrub and scrub >6 metres in height are to be treated as trees.	<ul style="list-style-type: none"> Should not be located under trees or within three metres of buildings. Should not be planted in clumps >5 square metres in area. Clumps should be separated from each other and any exposed window or door by at least 10 metres.
Ground covers* (<0.5 metres in height. Ground covers >0.5 metres in height are to be treated as shrubs)	<ul style="list-style-type: none"> Can be planted under trees but must be maintained to remove dead plant material, as prescribed in 'Fine fuel load' above. Can be located within two metres of a structure, but three metres from windows or doors if >100 millimetres in height.

Grass	<ul style="list-style-type: none"> • Grass should be maintained at a height of 100 millimetres or less, at all times. • Wherever possible, perennial grasses should be used and well-hydrated with regular application of wetting agents and efficient irrigation.
Defendable space	<ul style="list-style-type: none"> • Within three metres of each wall or supporting post of a habitable building, the area is kept free from vegetation, but can include ground covers, grass and non-combustible mulches as prescribed above.
LP Gas Cylinders	<ul style="list-style-type: none"> • Should be located on the side of a building furthest from the likely direction of a bushfire or on the side of a building where surrounding classified vegetation is upslope, at least one metre from vulnerable parts of a building. • The pressure relief valve should point away from the house. • No flammable material within six metres from the front of the valve. • Must sit on a firm, level and non-combustible base and be secured to a solid structure.

E2 Managing an Asset Protection Zone (APZ) to a low threat state

An APZ is a low fuel area maintained around a habitable building to increase the likelihood that it will survive a bushfire, by providing a defendable space and reducing the potential for direct flame contact, radiant heat exposure and ember attack.

Vegetation management within an APZ should provide defendable space and be maintained to a low threat state, in perpetuity, in accordance with the requirements outlined in Schedule 1.

The width of an APZ varies with slope and vegetation type, however it should only be as wide as needed to ensure the potential radiant heat impact of a bushfire does not exceed 29kW/m² (BAL-29), or 10kW/m² where a building is identified for use as an on-site shelter. An APZ is generally not required where a building or development site achieves 29kW/m² (BAL-29) or lower in its pre-development state (prior to any vegetation clearing or modification).

An APZ should include an area of defendable space immediately adjoining a building, that is kept free from combustible items and obstructions, within which firefighting operations can be undertaken to defend the structure. Where a lot contains a building envelope, it may not be necessary for the entire building envelope to achieve 29kW/m² (BAL-29) as this may result in significant unnecessary clearing. It is recommended that the BMP identifies that a sufficient APZ can be accommodated within the building envelope, with the development site and associated APZ to be determined at the development approval stage.

An APZ should be contained within the boundaries of the lot on which the building is situated, except in instances where it is demonstrated that the vegetation on the adjoining land is managed in a low threat state, as per cl. 2.2.3.2 of AS 3959, such as a road, managed park, rocky outcrop or a water body.

The siting of a habitable building and associated APZ should aim to minimise the clearing of vegetation. The BMP should demonstrate that the proposed APZ has minimised the unnecessary loss of vegetation or potential for conflict with landscape or environmental objectives; and complies with environmental approvals/exemptions (where necessary). A re-design or reduction in lot yield may be necessary to minimise the removal and modification of remnant vegetation.

It is recommended that development be located on flat areas or slopes less than 20 degrees (especially where classified vegetation is located downslope to a building) and away from ridge tops, crests or narrow gullies, as bushfire can spread rapidly in these areas. Circumstances where these locations may be suitable for development to occur include where the land is already cleared, and 29kW/m² (BAL-29) or lower can be achieved for the whole development site without the use of an APZ. To ensure soil stability within an APZ, vegetation removal on slopes exceeding 18 degrees is discouraged.

Fine fuel load should be maintained to less than two tonnes per hectare, however this is often a subjective assessment. Reducing fuel load levels does not necessarily require the removal of existing vegetation. A combination of methods can be utilised to reduce fuel load such as raking, weed removal, pruning, mulching and/or the removal of plant material.

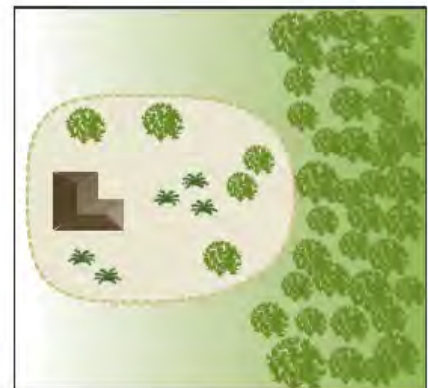
A simple method to estimate fuel load is to roughly equate one tonne of fuel load per hectare as 100 grams per square metre. For example, two tonnes per hectare of leaf litter is roughly 200 grams of leaf litter per square metre and eight tonnes per hectare is roughly 800 grams. Eucalyptus leaf litter is approximately 100 grams per handful, so two handfuls of litter per square metre will roughly equate to two tonnes per hectare. Different types of fine fuel, like mulch or pine needles may be more or less than a handful, however the 100 grams per square metre rule of thumb can still be used.

The landowner or proponent is responsible for maintaining an APZ in accordance with Schedule 1 - Standards for Asset Protection Zones. Ongoing maintenance of an APZ is usually enforced through the local government firebreak notice issued under section 33 of the *Bushfires Act 1954*, and/or through a condition of a development approval, which requires the implementation of measures identified within a BMP.

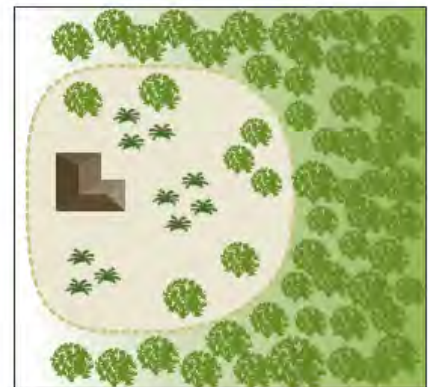
A copy of the firebreak notice and Schedule 1 should be included in a BMP specifically as a how-to guide for the landowner, and to demonstrate to decision-makers that the measures outlined in the BMP to achieve the appropriate BAL rating through provision and ongoing management of an APZ, can be implemented.

Regardless of whether an Asset Protection Zone exists in accordance with the acceptable solutions and is appropriately maintained, it should be noted that fire fighters are not obliged to protect an asset if they think the separation distance between the dwelling and vegetation is unsafe.

Hazard on one side



Hazard on three sides



Legend




-  APZ
-  trees
-  shrubs

Figure 18: Design of Asset Protection Zone

E2 Landscaping and design of an asset protection zone

Landscaping, design, and maintenance of an APZ in a bushfire prone area can significantly improve the bushfire resilience of a building. An APZ should not be seen as an area entirely cleared of vegetation, but as a strategically designed space that gives holistic consideration to how existing or proposed vegetation or non-combustible features interact with, or affect the building's bushfire resilience.

A well designed APZ provides a greater level of vegetation management within the first few metres of a building with, for example, less vegetation or inclusion of non-combustible materials. The vegetation within the remainder of an APZ can increase further away from the building with carefully considered plant selection and landscaping techniques.

Strategic landscaping measures can be applied, such as replacing weeds with low flammability vegetation (refer to E2 Plant Flammability) to create horizontal and vertical separations between the retained vegetation. The accumulation of fine fuel load from different plants is an important consideration for ongoing maintenance in accordance with Schedule 1. For example, when planting ground covers under deciduous trees within an APZ, the total fine fuel load prescribed in Schedule 1 will include any dead plant material from ground covers and leaf litter from the trees.

Plant density and final structure and form of mature vegetation should be considered in the initial landscaping stages. For example, clumps of sapling shrubs planted at a density without consideration of future growth, may increase the bushfire risk as a clump will quickly grow to exceed 5m². It should be noted that in some cases, a single shrub in a mature state may be so dense as to fill a 5m² clump alone.

The location of plants within an APZ is a key design technique. Separation of garden beds with areas of low fuel or non-combustible material, will break up fuel continuity and reduce the likelihood of a bushfire running through an APZ and subjecting a dwelling to radiant heat or direct flame contact. It is important to note, where mature trees are separated from a building by six metres, but the canopy has grown to extend or overhang a building, maintenance and pruning to remove the overhanging branches should be undertaken without the entirety of the tree being removed.

Mulches used within the APZ should be non-combustible. The use of stone, gravel, rock and crushed mineral earth is encouraged. Wood mulch >6mm in thickness may be used, however it is recommended that it is used in garden beds or areas where the moisture level is higher by regular irrigation. These materials could be sourced from non-toxic construction and demolition waste giving the added benefit of reducing the environmental impact of any 'hard landscaping' actions.

Combustible objects, plants, garden supplies such as mulches, fences made from combustible material, should be avoided within 10 metres of a building. Vines or climbing plants on pergolas, posts or beams, should be located away from vulnerable parts of the building, such as windows and doors. Non-flammable features can be used to provide hazard separation from classified vegetation, such as tennis courts, pools, lawns and driveways or paths that use inorganic mulches (gravel or crushed rock). Consider locating firewood stacks away from trees and habitable buildings.

Incorporation of landscaping features, such as masonry feature walls can provide habitable buildings with barriers to wind, radiant heat and embers. These features can include noise walls or wind breaks. Use of Appendix F of AS 3959 for bushfire resistant timber selection within areas of 29kW/m² (BAL-29) or below, or the use of non-combustible fencing materials such as iron, brick, limestone, metal post and wire is encouraged.

In addition to regular maintenance of an APZ, further bushfire protection can be provided at any time by:

- ensuring gutters are free from vegetation;
- installing gutter guards or plugs;
- regular cleaning of underfloor spaces, or enclosing them to prevent gaps;
- trimming and removing dead plants or leaf litter;
- pruning climbing vegetation (such as vines) on a trellis, to ensure it does not connect to a building, particularly near windows and doors;
- removing vegetation in close proximity to a water tank to ensure it is not touching the sides of a tank; and/or
- following the requirements of the relevant local government section 33 fire break notice, which may include additional provisions such as locating wood piles more than 10 metres from a building.

Preparation of a property prior to the bushfire season and/or in anticipation of a bushfire is beneficial even if your plan is to evacuate. As embers can travel up to several kilometres from a bushfire and fall into small spaces and crevices or land against the external walls of a building, best practice recommends that objects within the APZ are moved away from the building prior to any bushfire event. Objects may include, but are not limited to:

- door mats;
 - outdoor furniture;
 - potted plants;
 - shade sails or umbrellas;
 - plastic garbage bins;
 - firewood stacks;
 - flammable sculptures; and/or
 - playground equipment and children's toys.
-

E2 Plant flammability

There are certain plant characteristics that are known to influence flammability, such as moisture or oil content and the presence and type of bark. Plants with lower flammability properties may still burn during a bushfire event, but may be more resistant to burning and some may regenerate faster post-bushfire.

There are many terms for plant flammability that should not be confused, including:

- Fire resistant – plant species that survive being burnt and will regrow after a bushfire and therefore may be highly flammable and inappropriate for a garden in areas of high bushfire risk.
- Fire retardant – plants that may not burn readily or may slow the passage of a bushfire.
- Fire wise – plants that have been identified and selected based on their flammability properties and linked to maintenance advice and planting location within a garden.

Although not a requirement of these Guidelines, local governments may develop their own list of fire wise or fire-retardant plant species that suit the environmental characteristics of an area. When developing a recommended plant species list, local governments should consult with ecologists, land care officers or environmental authorities to ensure the plants do not present a risk to endangered ecological communities, threatened, or endangered species or their habitat.

When selecting plants, private landholders and developers should aim for plants within the APZ that have the following characteristics:

- grow in a predicted structure, shape and height;
- are open and loose branching with leaves that are thinly spread;
- have a coarse texture and low surface-area-to-volume ratio;
- will not drop large amounts of leaves or limbs, that require regular maintenance;
- have wide, flat, and thick or succulent leaves;
- trees that have bark attached tightly to their trunk or have smooth bark;
- have low amounts of oils, waxes, and resins (which will often have a strong scent when crushed);
- do not produce or hold large amounts of fine dead material in their crowns; and/or
- will not become a weed in the area.

Appendix 2 – Local Government Authority Firebreak Notice

Bush Fire Notice 2022/23

The Shire is committed to your safety; please take note of the instructions contained within this notice. There are changes to the conditions of what actions must be taken by 31 October 2022, these changes will be enforceable for the 2022/23 fire season.

If you require any further information, please call a Fire Control Officer direct.

Graham Treasure
Chief Fire Control Officer – Shire of Wandering



Dates You Must Remember

Due to unseasonal weather conditions these dates may be extended or shortened. You must check with the Shire of Wandering for details

RESTRICTED BURNING PERIOD - PERMITS REQUIRED

1 October 2022 to 31 October 2022 inclusive

CAMPFIRES AND BONFIRES PROHIBITED

Contact your Local Fire Control Officer for a permit

BURNING PROHIBITED

1 November 2022 to 21 February 2023 inclusive

NO BURNING AND NO FIRES

RESTRICTED BURNING PERIOD - PERMITS REQUIRED

22 February 2023 to 19 April 2023 inclusive

NO BURNING WITHOUT A PERMIT

CAMPFIRES AND BONFIRES PROHIBITED

Contact your Local Fire Control Officer for a permit

BURN WITH CARE

20 April 2023 to 30 September 2023

NO PERMIT REQUIRED

Note: Fire Danger Rating for a particular day can overrule permits

BURNING PERMITS can be obtained from your local Fire Control Officer. Please remember the Fire Control Officers are volunteers – you may have to leave a message and they will get back to you.

PLEASE PLAN AHEAD, do not ring a Fire Control Officer on the day you want to burn and expect a permit, as it may not be granted. You must give notice to your neighbours and the Shire once the permit is granted.

FIREBREAKS must be installed before 31 October 2022 and maintained clear of flammable material.

FOR ALL FIRES CALL 000

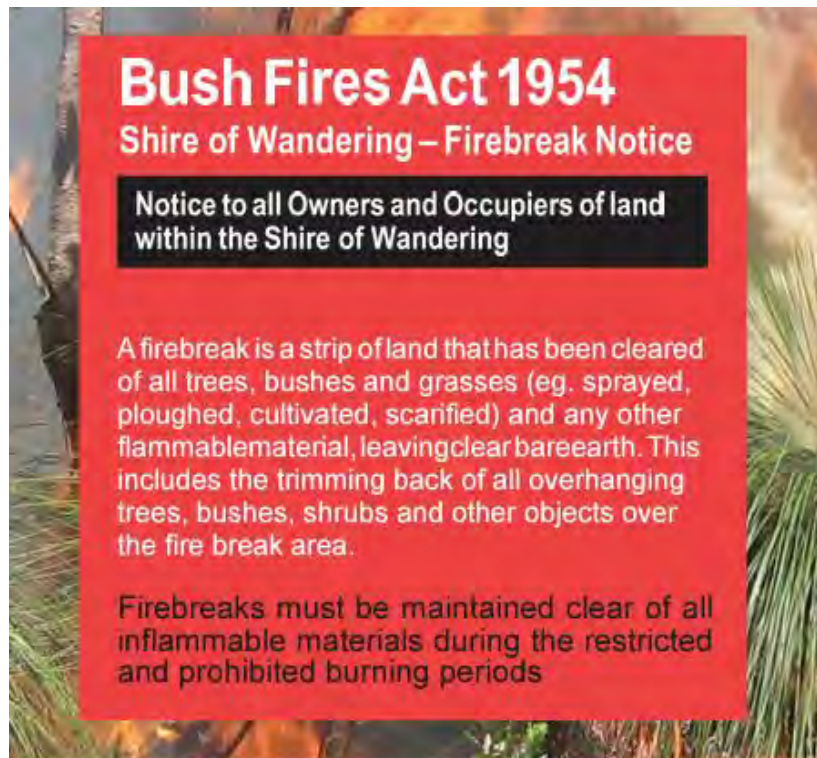


Name/Colour	Fire Behaviour Index Range	Suppression difficulty
MODERATE (Green)	12-23	Most bushfires in this category. Fires typically suppressed with direct, parallel or indirect attack.
HIGH (Yellow)	24-49	Initial attack success critical to prevent large fire development. Defensive suppression strategies.
EXTREME (Orange)	50-99	Defensive suppression strategies. High levels of threat to life/property. Safety of firefighters and community paramount.
CATASTROPHIC (Red)	100+	Unsafe for firefighters and community. Without initial attack success, likelihood of very large fire development is very high. High probability of loss of life and property.

During a Total Fire Ban

You must not light a fire in the open air or use any equipment in the open air that is likely to emit sparks.

This includes lighting wood fuel barbeques, pizza ovens or candles, and using angle grinders, welders or lawnmowers.



This notice advises what action you must take by 31 October 2022, and maintain through the restricted and prohibited burning periods. If you do not meet your responsibilities, you may be fined a minimum of \$250 and be required to meet the cost of Council's effort to make you comply with this notice.

1. Properties in Blackboy Springs, Wandering Downs Estate and Properties Less Than 10 hectares:

Bare mineral earth firebreaks, not less than 3 metres wide, inside and within 20 metres of the road reserve.

Bare mineral earth 3 metre firebreaks around all buildings. It is recommended that all flammable material be removed for a distance of 3 metres immediately adjacent to all buildings.

Are to have all flammable matter slashed, mowed or trimmed down by other means to a height of no greater than 150mm across the entire property (living trees, shrubs, plants and agricultural crops under cultivation are excepted) or approved stock management of pasture by Local Brigade Fire Control Officer

2. All other Small Rural Holdings with an area of 10 - 80 hectares or less:

Bare mineral earth firebreaks, not less than 3 metres wide, inside and within 20 metres of the entire boundary.

Bare mineral earth 3 metre firebreaks around all buildings. It is recommended that all flammable material be removed for a distance of 3 metres immediately adjacent to all buildings.

3. Combined Rural Holdings in the Shire of Wandering greater than 80 hectares:

Satisfy at least one of the following conditions:

- i. **Have on stand-by an operational mobile fire-fighting unit of minimum 450 litre* capacity. If you own more than one land holding in the Shire of Wandering, a minimum of one unit is required for the total land holding; or**
- ii. Bare mineral earth firebreaks, not less than 3 metres wide, inside and within 20 metres of the road boundary of all rural land held.

You must also have:

- i. Bare mineral earth firebreaks, not less than 3 metres wide, within 20 metres of the perimeter of all buildings on the land. It is recommended that all flammable material be removed for a distance of 3 metres immediately adjacent to all buildings; and
- ii. Bare mineral earth firebreaks, not less than 20 metres wide, around the perimeter of any bush exceeding 10 hectares in area prior to carrying out a clearing burn.

4. Town site land:

- i. Bare mineral earth firebreaks, not less than 3 metres wide, inside all external boundaries of the land; and/or
- ii. Clear, by burning, all flammable material likely to be conducive to the outbreak, spread or extension of a fire from the whole of the land; and/or
- iii. Maintain grass to a height not greater than 100mms.

5. Plantations (A clump of planted trees greater than 10 hectares in area):

- i. Bare mineral earth firebreaks, not less than 10 metres wide, immediately inside all external boundaries of land.
- ii. Bare mineral earth firebreaks internal, not less than 10 metres wide, surrounding compartments of maximum area of 100 hectares.

All properties will be inspected from 31 October 2022 to ensure they comply with these requirements. Failure to comply will result in an infringement being issued.

HARVEST, BALING & CHAFF CUTTING

- During harvest, baling and chaff cutting operations an operational mobile firefighting unit of minimum 600 litre capacity, must be in close proximity and an operational fire extinguisher must also be at hand.
- Rural property owners are urged to fit a 38mm male camlock coupling and check valve to their water storage tanks to allow easy access to water by fire fighters.

HARVEST AND VEHICLE MOVEMENT BAN

Imposed by the Shire of Wandering

HARVEST BAN LINE 9884 1042

- A ban on harvesting and the movement of vehicles in paddocks (except for the watering, feeding and management of stock), is likely to be imposed by Fire Control Officers when the Shire's actual conditions dictate.
- The Shire of Wandering offers a free program that allows you to be notified by SMS message when Harvest and Vehicle Movement Bans are imposed. Contact the Shire Office during business hours on 9884 1056 for details.
- Phone the Wandering Harvest Ban line on 9884 1042 for details and updates.

TOTAL FIRE BANS

IMPOSED BY THE DEPARTMENT OF FIRE & EMERGENCY SERVICES
(DFES)

Refer to www.dfes.wa.gov.au for full conditions and restrictions for Total Fire Ban days.

What does a Total Fire Ban mean?

It means a person **must not**:

- Light, maintain or use a fire in the open air, or carry out an activity in the open air that causes or is likely to cause a fire.
- The ban includes; hot works (welding, grinding, soldering, gas cutting), all open solid fuel fires for the purpose of cooking or camping, use of incinerators and other activities.

When will a Total Fire Ban be declared?

Total fire bans are declared on days when fires will be difficult to control, are most likely to threaten lives and property, or when widespread fires are impacting the availability of resources.

The decision to put a ban in place is based on the weather forecast. DFES consults with the Bureau of Meteorology to determine when dangerous fire weather conditions are likely. DFES also consults with local governments that will be affected.

How will I know when one has been declared?

You can check:

- The DFES website at www.dfes.wa.gov.au
- By calling 1800 709 355
- By listening to ABC local radio and other media outlets.



To reduce fire hazards around your property:

- Chemical spraying of fire breaks and low fuel zones – final applications and maintenance.
- Prune Trees – prune well around buildings, remove lower branches and check that power lines are clear. Use a professional contractor if required.
- Reduce fuel levels around the house – clear long grass, leaves, twigs and flammable shrubs.
- Ensure petrol and other flammables are safely stored, away from the main dwelling.
- Make sure your fire-fighting equipment is in good working order and serviced where required.
- Make sure all residents of your property are aware of your emergency plan, including evacuation routes.
- Move wood piles and stacked timber away from the main dwelling.
- Keep grass short.
- Clean gutters and roof debris.
 - Install firebreaks in accordance with the Firebreak Notice.
 - Water lawns, trees and shrubs near the buildings to keep them green.
 - Re-check firefighting equipment, screens, water supplies, and that gutters remain clear.

- Make sure that the buildings are safe – fit wirefly screens and shutters, fill gaps in roof/wall spaces, fit fire screens to evaporative air conditioners and have them operable to provide a water only supply.
- Give consideration to installing external building sprinkler systems and backup power for emergencies.
- Ensure the access to emergency water supplies has the correct fittings, is unobstructed and the route trafficable.
- Get basic training in firefighting from your local Bush Fire Brigade or even join your local Brigade.

Firebreak Contractors

Landowners, particularly absentee owners should not assume the contractor has undertaken all the work that is required to achieve compliance with the Firebreak Notice.

Regardless of any contractual relationship between the parties, the landowner remains legally responsible to ensure full compliance with the Firebreak Notice is achieved.

Acceptable Firebreak



Non Acceptable Firebreak



Prepare. Act. Survive.

Bush fires happen every summer; they can start suddenly and without warning. People have been killed or seriously injured, and homes destroyed in recent events in WA. If you live in or near bush, fire is a real risk to you and your family.

You need to understand the bush fire risk to your family and home so you can make decisions now on what you will do if a bush fire starts. Fire fighters are preparing for the bush fire season and will do everything they can to make your community safe. Many fire fighters are volunteers and take time away from their families putting themselves at risk to support you and your family.

You need to help them by developing your bush fire survival plan and preparing your home to make it as safe as possible. Whether you choose to leave for a safer place or you choose to actively defend, preparation is the key to your survival.

Information in this brochure will help you prepare your home, family and business develop a plan to act to make sure you survive. Before summer starts you need to decide what you will do if a bush fire threatens.

PREPARE your family, home or business – know your bush fire risk and have a bush fire survival plan.

ACT on the fire danger ratings – put your preparations into action, do not wait and see.

SURVIVE by monitoring conditions if a fire starts – know the bush fire warning alert levels and what you will do if you are caught in a fire.

For further information contact DFES on 1300657 209 or visit www.dfes.wa.gov.au.



Download My Bushfire Plan App

Access your bushfire plan anytime - even without an internet connection.



Council Recommendations

Council recommends that landowners consider these initiatives in addition to those that are mandatory.

- Perimeter Firebreaks be installed at Blackboy Springs and Wandering Downs
- Fit a 38mm male camlock coupling and check valve to water storage tanks
- All trees should be pruned away from buildings
- Ensure petrol and other flammables are stored safely away from buildings
- Keep grass short
- Keep gutters and roof clean and free from debris
- Fit external building sprinklers
- Consider back up power supplies
- Organise to have Shire SMS service to receive all fire announcements
- Keep emergency phone numbers in an accessible place



Emergency Numbers

FIRE • AMBULANCE • POLICE • 000
 HARVEST BAN LINE 9884 1042

Fire Control Officers

	Home Ph	Mobile	VHF
CHIEF FIRE CONTROL OFFICER			
Graham Treasure*	0427841083		Wandering Town 2
DEPUTY CHIEF FIRE CONTROL OFFICER			
Tim Treasure*	98841569	0458653521	Wandering 5
	Home Ph	Mobile	VHF
CODJATOTINE			
C Peter Monk *	98877016	0429887725	Codji 1
Brendon Hardie *		0428 225 350	Codji 2
Dean Warburton*	98841063	0429884106	Codji 3
Melvin Schorer *	98877023	0429877023	Codji 4
HASTINGS			
C Anthony Turton*	98877142	0428 876 042	Hastings 5
Richard Bostock	98877004	0428 280 068	Hastings 1
Graeme Parsons	98876022	0428876631	Hastings 2
Chad Ferguson	98841041	0427841041	Hastings 3
Adam Watts*	98876023	0419 949 223	Hastings 4
WANDERING TOWN			
C Shaun Brand* (Blackboy Springs)		0429433452	Wandering Town 1
Graham Treasure*		0427841083	Wandering Town 2
Brad Hunt		0403110833	Wandering Town 3
Gary Curtis		0427610206	Wandering Town 4
WANDERING			
C Tim Treasure*	98841569	0458653521	Wandering 5
Steve Watts*	98841051	0429887001	Wandering 2
Grant White	98841049	0428841049	Wandering 3
Jon Hardie		0466662615	Wandering 4

Shire of Wandering Contacts

Chief Executive Officer	0448 729 049
Executive Manager of Technical Services	0429 684 217

* Indicates 'Permit To Burn' Issuing Officer

C Indicates Brigade Captain

Appendix 3 – Vehicular Access Requirements

Table 6: Vehicular access technical requirements

TECHNICAL REQUIREMENTS	1 Public roads	2 Emergency access way ¹	3 Fire service access route ¹	4 Battle-axe and private driveways ²
Minimum trafficable surface (metres)	In accordance with A3.1	6	6	4
Minimum horizontal clearance (metres)	N/A	6	6	6
Minimum vertical clearance (metres)	4.5			
Minimum weight capacity (tonnes)	15			
Maximum grade unsealed road ³	As outlined in the IPWEA Subdivision Guidelines	1:10 (10%)		
Maximum grade sealed road ³		1:7 (14.3%)		
Maximum average grade sealed road		1:10 (10%)		
Minimum inner radius of road curves (metres)		8.5		

E3.6 Private driveways

In areas serviced by reticulated water, where the road speed limit is not greater than 70 km/h, and where the distance from the public road to the further part of the habitable building is no greater than 70 metres, emergency service vehicles typically operate from the street frontage.

In the event the habitable building cannot be reached by hose reel from the public road, then emergency service vehicles will need to gain access within the property. Emergency service vehicles will also need to gain access within the property, where access to reticulated water (fire hydrants) is not possible. In these situations, the driveway and battle-axe (if applicable) will need to be wide enough for access for an emergency service vehicle and a vehicle to evacuate.

Turnaround areas should be available for both conventional two-wheel drive vehicles of residents and Type 3.4 fire appliances. Turn-around areas should be located within 30 metres of habitable buildings. Circular and loop driveway design may also be considered. Note that the design requirements for a turn-around area for a private driveway or battle-axe differ to a cul-de-sac.

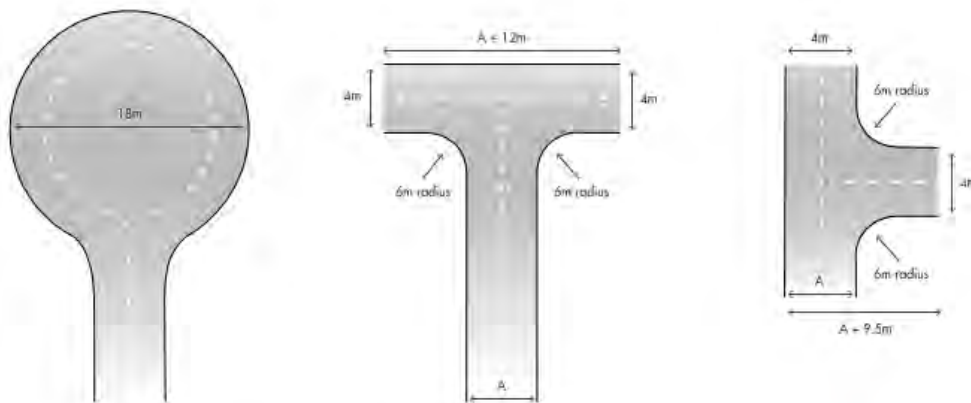


Figure 28: Design requirements for a turn-around area for a private driveway or battle-axe

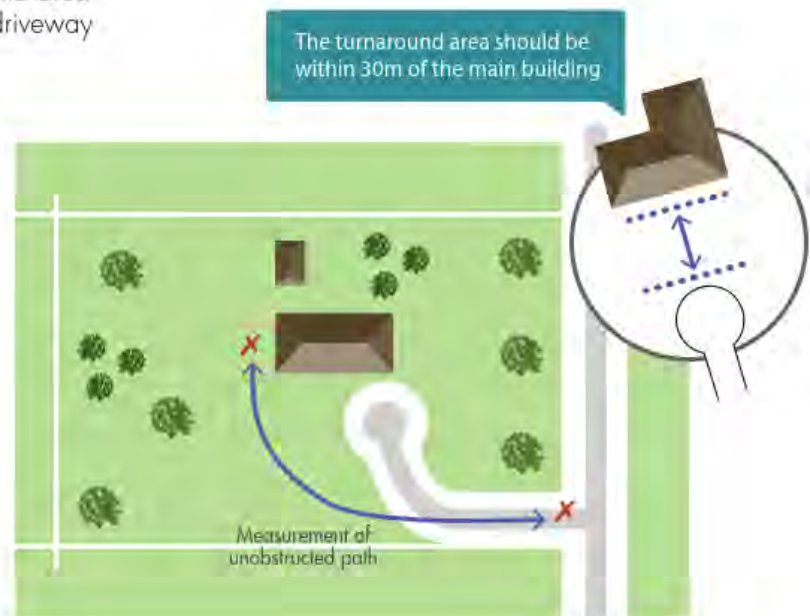
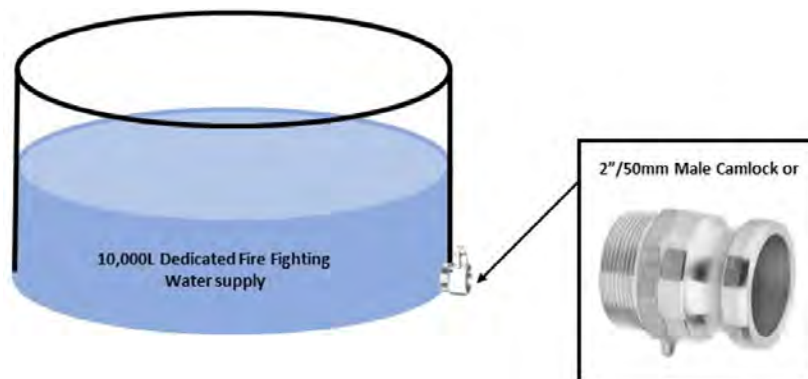


Figure 29: Design requirements for a private driveway where required under A3.6

Appendix 4 – Water Supply & Schedule 2

To ensure that water is available to enable people property and infrastructure to be defended a permanent dedicated fire water supply with:

6. Water tank with 10,000L capacity, constructed of steel or able to maintain integrity though a bushfire



7. 50mm male camlock coupling with full flow valve shielded from the bushfire hazard by facing away from the threat and towards the emergency vehicle access.
8. Having unobstructed hardened ground provided 4m from water supply point where emergency vehicles can freely move.
9. Within 50m of the dwelling and 30m from the turn around area.



Use of Water Supply:

Water supply for firefighting in the event of a bushfire can be provided on a lot for use by emergency services or for use by the landowner, if their Bushfire Survival Plan is to stay and defend their property. Water supply in the form of a dedicated standalone tank may be provided solely for use by emergency services, and/or a water supply may be provided for use by the landowner in the form of non-drinking water (garden or grey water for firefighting) or drinking water. **It is important to note, that a combined tank of drinking water and water for firefighting purposes is not recommended.** It is required to be separated in accordance with section 4.2.3 of AS/NZS 3500.1:2018.

This requirement is necessary, as stagnant water may alter the quality of the drinking water and the emergency services, by law, may not be able to take water from the water supply to suppress a bushfire.

SCHEDULE 2: WATER SUPPLY DEDICATED FOR BUSHFIRE FIREFIGHTING PURPOSES

2.1 Water supply requirements

Water dedicated for firefighting should be provided in accordance with Table 7 below, and be in addition to water required for drinking purposes.

Table 7: Water supply dedicated for bushfire firefighting purposes

PLANNING APPLICATION	NON-RETICULATED AREAS
Development application	10,000L per habitable building
Structure Plan / Subdivision: Creation of 1 additional lot	10,000L per lot
Structure Plan / Subdivision: Creation of 3 to 24 lots	10,000L tank per lot or 50,000L strategic water tank
Structure Plan / Subdivision: Creation of 25 lots or more	50,000L per 25 lots or part thereof Provided as a strategic water tank(s) or 10,000L tank per lot

2.2 Technical requirements

2.2.1 Construction and design

An above-ground tank and associated stand should be constructed of non-combustible material. The tank may need to comply with AS/NZS 3500.1:2018.

Below ground tanks should have a 200mm diameter access hole to allow tankers or emergency service vehicles to refill direct from the tank, with the outlet location clearly marked at the surface. The tank may need to comply with AS/NZS 3500.1:2018. An inspection opening may double as the access hole provided that the inspection opening meets the requirements of AS/NZS 3500.1:2018. If the tank is required under the BCA as part of fire hydrant installation, then the tank will also need to comply with AS 2419.

Where an outlet for an emergency service vehicle is provided, then an unobstructed, hardened ground surface is to be supplied within four metres of any water supply.

2.2.2 Pipes and fittings

All above-ground, exposed water supply pipes and fittings should be metal. Fittings should be located away from the source of bushfire attack and be in accordance with the applicable section below, unless otherwise specified by the local government.

2.2.2.1 Fittings for above-ground water tanks:

- Commercial land uses: 125mm Storz fitting; or
- Strategic water tanks: 50mm or 100mm (where applicable and adapters are available) male camlock coupling with full flow valve; or
- Standalone water tanks: 50mm male camlock coupling with full flow valve; or
- Combined water tanks: 50mm male camlock coupling with full flow valve or a domestic fitting, being a standard household tap that enables an occupant to access the water supply with domestic hoses or buckets for extinguishing minor fires.

2.2.2.2 Remote outlets

In certain circumstances, it may be beneficial to have the outlet located away from the water supply. In such instances in which a remote outlet is to be used, the applicant should consult the local government and DFES on their proposal.

14.2 Development Application – Lot 5095 Pumphrey’s Road

File Reference:	PA341
Location:	Lot 5095 (No. 155) Pumphreys Road, Pumphreys Bridge
Applicant:	Gnowing Park Pty Ltd
Author:	Lilian Yek c/- Altus Planning (Shire’s Town Planning Consultant)
Authorising Officer	Alan Hart – Chief Executive Officer
Date:	11 September 2023
Disclosure of Interest:	Nil
Attachments:	Attachment 1 – Original Proposed Development Plans Attachment 2 – Revised Proposed Development Plans Attachment 3 – Transportable Dwelling Photos
Previous Reference:	N/A

Summary:

The Shire has received a development application seeking approval for ‘Workers Accommodation’ in the form of a ‘transportable dwelling’. The proposed dwelling consists of a three (3) bedroom and bathroom ensuite accommodation unit, and a kitchen amenities unit consisting of kitchen, dining, living and laundry area. The two units are connected via an outdoor patio with permanent roof structure (proposed development or proposal). A 180,000L water tank and leach drain septic system are also proposed. The proposal is located at Lot 5095 (No. 155) Pumphreys Road, Pumphreys Bridge (subject site or site).

The proposal requires approval as a ‘Workers Accommodation’ which is a discretionary use. Additionally, discretion is required to be exercised for an approval of a transportable dwelling type of accommodation.

Having reviewed the relevant planning framework and provisions, the application is recommended for approval.

Background:

The subject site is located approximately 18km east of the Wandering Townsite and measures approximately 81.0305ha. The site is bordered by Pumphreys Road to the south and is adjoined by similar rural properties, with the land to the south-west reserved for ‘Recreation and Open Space’.

The subject site is relatively vacant, predominantly cleared for existing farming and sheep shearing practices. The subject site has an existing single house dwelling, three (3) outbuildings for shearing and machinery storage sheds, and a 180,000 L water tank on site. The proposal is described by the Applicant as short-term accommodation for casual farming staff, based on seasonal requirements for additional manpower.

The proposed staff accommodation is intended to be installed permanently on site. Proposed workers accommodation consists of two (2) second-hand transportable units co-joined with an outdoor patio area, inclusive of a permanent roof structure. The accommodation consists of a three (3) bedroom and bathroom ensuite unit, and a kitchen, dining, living and laundry area.

A locality plan is provided at Figure 1 and the original proposed development plans are provided as Attachment 1.



Figure 1: Subject Site and Locality (Source: PlanWA 2023)

Comment:

Town Planning Scheme No. 3

The subject site is zoned 'Rural' pursuant to the Shire of Wandering Local Planning Scheme No. 3 (**LPS3** or **Scheme**). The objectives for the Rural zone are set out in clause 4.2 (5) of the Scheme as follows:

- a) *to ensure the continuation of broad-hectare agriculture in the district encouraging where appropriate the retention and expansion of agricultural activities.*
- b) *to provide for diversification and intensive agricultural uses in suitable areas.*
- c) *to consider non-rural uses where they can be shown to be of benefit to the district and not detrimental to the natural resources or the environment.*
- d) *to allow for facilities for tourists and travellers, and for recreation uses.*
- e) *to have regard to use of adjoining land at the interface of the Rural zone with other zones to avoid adverse effects on local amenities.*

With respect to the above, objectives (a) and (c) is relevant to the proposal and is considered to be consistent with the objectives of the zone.

The proposed workers accommodation is a 'D' use under the 'Rural' zone which means the use is not permitted unless discretion has been exercised by granting approval. The definition of workers accommodation pursuant to 'Schedule 1 – Definitions' of the Scheme is as follows:

“means premises used for accommodation by a person or persons and the spouse and dependents of that person or persons engaged in agriculture, intensive agriculture, animal husbandry, piggeries or poultry farm on the same land and the term shall include both permanent dwellings and temporary accommodation for seasonal workers.”

The proposed workers accommodation is intended for seasonal casual workers on site for farming and shearing purposes. Such use is consistent with the objectives of the zone which supports and encourages the continuation of intensive agricultural uses within the zone.

Given the proposal consists of a transportable dwelling, an assessment of the proposal against the provisions of Clause 5.9 is provided within the table below.

Clause 5.9.1 – Transportable Dwellings	
Provision	Comment
<i>A person shall not transport a building and place it on land in the Scheme Area and use it as a dwelling unless the local government has granted planning approval. The local government shall not grant planning approval if the land is within a Heritage Area designated in accordance with clause 7.2.</i>	The subject site is not located within a Heritage area and is therefore capable of being approved at Council's discretion.
Clause 5.9.2 – Transportable Dwellings	
The local government shall only grant planning approval pursuant to clause 5.9.1 if the transported dwelling	
Provision	Comment
e) <i>complies with the provisions of the Scheme, the Residential Planning Codes, and any Local Laws applicable both to the transported building and the land on which it is to be situated; and</i> •	The proposal is considered against other provisions of the Scheme in the sections further below. The R-Codes are not applicable to the proposal.
f) <i>is, in the opinion of the local government, in a satisfactory condition and will not detrimentally affect the amenity of the locality.</i>	The Applicant has provided photos demonstrating the condition of the second-hand transportable dwelling. It is considered that the condition is satisfactory and will not detrimentally impact the amenity. In addition, the proposed location of the workers accommodation, being approximately 117m from the front boundary and located behind existing development on site, it is considered that the proposal will not be distinguishable to the surrounding locality.

Clause 5.10 sets out the minimum standards for dwellings, the assessment of the proposal is as per the table below.

Clause 5.10 – Minimum Standards for Dwellings	
Notwithstanding anything elsewhere contained in the Scheme the following minimum standards are required for all dwellings in the Scheme Area:	
Provision	Comment
a) <i>dwellings shall comply in all respects with the National Construction Code;</i>	<p>Building comments were sought as part of this assessment. Given the proposed accommodation is considered a Class 1B, a certified Building Assessment will be required. In addition, assessment will be required to determine energy efficiency, emergency lighting, smoke alarms and compliance with AS1428.1.</p> <p>However, an exemption to accessibility requirements can be considered, as the proposal is intended as a workers accommodation for farming and shearing use and therefore, residents will have to be able bodied.</p> <p>These are matters that can be addressed in the Building Permit stage, following the issuance of development approval.</p>
b) <i>transportable dwellings may be approved pursuant to clause 5.9 of the Scheme subject to the buildings being designed as a transportable single house (mining camp type transportable accommodation units shall not be permitted);</i>	<p>Consideration has been given by the Applicant to the layout of the transportable dwellings. Whilst the initial proposal consists of two (2) separate accommodation and amenities units, which cannot be approved pursuant to the Scheme, upon further discussion, the Applicant has prepared a set of revised plans consisting of an outdoor patio with roof cover which acts as a connection for the two units. Refer to Attachment 2 for revised development plans.</p> <p>In this sense, cohesiveness of the transportable dwelling can be considered which has a similar functionality of a single house and presents a different typology to a typical mining camp transportable.</p>
c) <i>all dwellings shall contain at least one separate bedroom, a dining/living room and kitchen with separate toilet, bathroom and laundry facility in accordance with the National Construction Code;</i>	The proposal consists of a three (3) bedroom and bathroom ensuite unit, and kitchen, dining, living and laundry facilities.
d) <i>dwellings shall be constructed as a single unit with compatible external materials;</i>	Whilst the proposal comprises of two (2) units, consideration has been given to the functionality and its proposed use as a singular workers accommodation unit, aided by the connecting patio area.

	The two (2) transportable units are of similar prefabricated material and colour.
e) <i>all floors shall be sealed with suitable impervious materials, and all walls and ceilings lined in a finished workmanlike manner; and</i>	The photos provided by the Applicant demonstrate suitable internal finishes.
f) <i>all window openings are to be glazed to the requirements of the National Construction Code and fitted with effective insect screen.</i>	This is a matter to be addressed during Building Permit stage, although the Applicant’s photos at Attachment 3 suggest some of the windows are already fitted with insect screens.

The proposal meets the Clause 5.17.1 building setback requirements of 20m from all sides. The proposal is located approximately 117m from the front lot boundary.

An assessment of the proposal against the provisions of Clause 5.17.3 is provided within the table below.

Clause 5.17.3 – General Development Requirements	
In considering an application for planning approval the local government will have due regard for the following, in addition to the provisions of the Scheme:	
Provision	Comment
a) <i>any sensitive or incompatible uses which may require buffer separation from the proposed use;</i>	No sensitive and incompatible land uses are identified.
b) <i>evidence of a sustainable water supply that does not rely on catchment outside the lot, or damming of a stream that will impact on the water availability for another lot or lots;</i>	Sufficient water supply onsite can be achieved. An existing 180,000 L water tank is available on site to supplement the additional water usage. The proposal does not indicate any catchment of water or stream.
c) <i>soil conditions, slope, soil type, rock, potential for water logging, foundation stability, and how the application has addressed these site characteristics;</i>	The application was referred to the Shire’s Building Surveyor as part of the assessment process, with no concerns raised with the soil conditions. It is noted that following development approval, a Building Permit will be required. It is also noted that the proposed development is to be located as part of the existing development cluster on-site which is within a relatively flat portion of the site.
d) <i>proposals for treatment and disposal of waste products.</i>	The proposal indicates two (2) leach drains of 13m and septic tank system. This will be subject to approval from the Shire’s Environmental Health Officer.

Variation to site and development standards and requirements can be considered pursuant to Clause 5.5 of the Scheme. In this instance, it is considered appropriate to exercise this available discretion in relation to the form of the transportable dwellings for the following reasons:

- The proposed workers accommodation, whilst it cannot be considered strictly a single transportable dwelling, the connectivity of the outdoor patio between the two units consolidates the appearance of the proposed built form.
- The proposal is setback approximately 117m from the front boundary. From a streetscape and amenity perspective, it is considered that such a proposal will not present itself to have an adverse impact on the surrounding area.
- The existing dwelling and vegetation on site are located further south (front) of the proposal and will therefore aid in screening the proposed development from public view.

State Planning Policy 3.7 - Planning in Bushfire Prone Areas

State Planning Policy 3.7 - Planning in Bushfire Prone Areas (**SPP3.7**) has been prepared by the Western Australian Planning Commission (**WAPC**) to implement effective, risk-based land use planning and development to preserve life and reduce the impact of bushfire on property and infrastructure.

A portion of the subject site is designated as a 'Bushfire Prone Area' as per the Department of Fire and Emergency Services Map of Bushfire Prone Areas, refer Figure 2 below.



Figure 2: Map of Bushfire Prone Area

SPP3.7 Clause 3.1 provides for the identification of bushfire prone area.

“Areas identified as being bushfire prone to which SPP 3.7 and these Guidelines apply are coloured ‘pink’ on the map. The remaining areas are not considered bushfire prone for the purpose of implementing additional development requirements...”

The proposal is located outside of the designated bushfire prone area and therefore the requirements of SPP3.7 and the Guidelines do not apply.

Planning and Development (Local Planning Schemes) Regulations 2015
Deemed Provisions – CI 67 Matters to be considered by Local Government.

Deemed Provisions – CI 67 Matters to be considered by Local Government	
Provision	Comment
(a) the aims and provisions of the Scheme and any other relevant town planning scheme operating within the Scheme Area;	The proposal is consistent with the objectives of the 'Rural' zone under TPS3.
(m) the compatibility of the development with its setting;	A workers accommodation for seasonal casual farming and shearing staff is considered consistent with the objectives of the zone and compatible within its setting. Whilst a transportable type of dwelling is generally industrial in nature, in this instance, consideration has been given to the connecting outdoor patio which enhances the amenity for the staff and results in a more cohesive built form.
(n) the amenity of the locality;	The proposed unit is intended for three (3) persons and can be considered as fairly minor in nature having regard to the context of the site. Given the proposed development is setback approximately 117m from the front boundary, it can be considered that the proposal will not be distinguishable to the surrounding locality and therefore will not result in any adverse amenity impacts.
(o) the likely effect of the proposal on the natural environment or water resources and any means that are proposed to protect or to mitigate impacts on the natural environment;	The proposal is not within any natural environment or water resource protection area.
(p) whether adequate provision has been made for the landscaping of the land to which the application relates and whether any trees or other vegetation on the land should be preserved;	No vegetation is proposed to be removed for this application.
(q) whether the land to which that application relates is unsuitable for the proposal by reason of it being, or likely to be, subject to flooding, tidal inundation, subsidence, landslip, bush fire or any other risk;	No bushfire concerns are raised as the proposal is located outside of the designated bushfire prone area.

Consultation:

Based on the above assessment, it has been determined that the application did not warrant public consultation.

Statutory Environment:

Planning and Development Act 2005
Planning and Development (Local Planning Schemes) Regulations 2015
Shire of Wandering Local Planning Scheme No. 3

Policy Implications:

Nil

Financial Implications:

Costs may be incurred by the Shire if the landowner requests a review of the determination from the State Administrative Tribunal (**SAT**).

Strategic Implications:

Improve the Economic Growth of our Community

Our Goals	Our Strategies
Facilitate increased business opportunities	Ensure our planning frame work and environment supports nimble decision making and gives confidence to developers

Retain and Grow our Population

Our Goals	Our Strategies
Our permanent and transient population grows	We promote the lifestyle and business opportunities

Sustainability Implications:

- Environmental: There are no known significant environmental considerations.
- Economic: There are no known significant economic considerations.
- Social: There are no known significant social considerations.

Voting Requirements:

Simple Majority

Officer Recommendation:

That Council approves the application for development approval, submitted by Gnowing Park Pty Ltd, for a transportable dwelling type of workers accommodation at Lot 5095 (No. 155) Pumphreys Road, Pumphreys Bridge, subject to the following conditions:

Conditions:

1. The development hereby approved shall occur in accordance with the plans and specifications submitted with the application and these shall not be altered or modified without the prior written approval of the Council.
2. The use hereby permitted shall comply with the following definition of ‘Workers Accommodation’ as contained in Town Planning Scheme No.3:

“means premises used for accommodation by a person or persons and the spouse and dependents of that person or persons engaged in agriculture, intensive agriculture, animal husbandry, piggeries or poultry farm on the same land and the term shall include both permanent dwellings and temporary accommodation for seasonal workers”.
3. Non-reflective natural colours which blend with the natural landscape, to the satisfaction of the Shire, being used on the roof and external walls of all buildings except for rainwater tanks, which shall be screened from view by tree planting to the satisfaction of the Shire.
4. All stormwater generated by the proposed development shall be managed and disposed of to the specifications and satisfaction of the Shire.
5. Satisfactory building plans being approved by the Shire.
6. Compliance with the relevant Health Regulations to the satisfaction of the Environmental Health Officer.

Moved: _____

Seconded: _____

For/Against: Cr Turton Cr Treasure Cr Hansen Cr Little Cr Parsons Cr Watts

2 X 13m LEACH
DRAINS TO COUNCIL
REQUIREMENTS

MIN 3000

DIVERTER
VALVE

KITCHEN
UNIT

COP - CLEAN OUT POINT
ID - INSPECTION OPENING
DG- DISCONNECTOR GULLY
RE - ROD END

ACCOMMODATION UNIT

1200D₁a
SEPTIC
TANK

1500D₁a
SEPTIC
TANK

50 VENT

COP

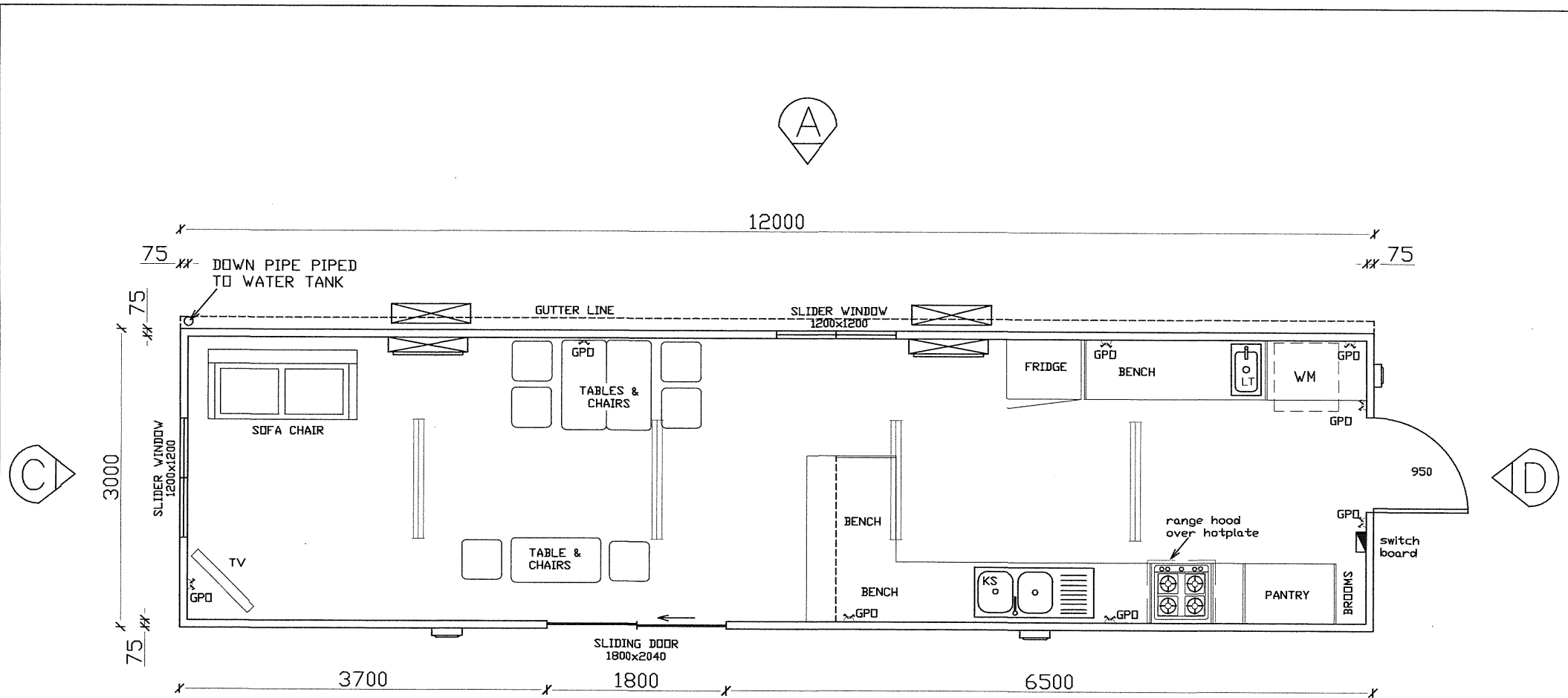
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COP

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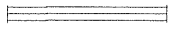

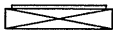
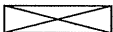
GNOWING PARK Pty-Ltd
MARTERDINE
155 PUMPHREYS RD
PUMPHREYS BRIDGE 6308 WA

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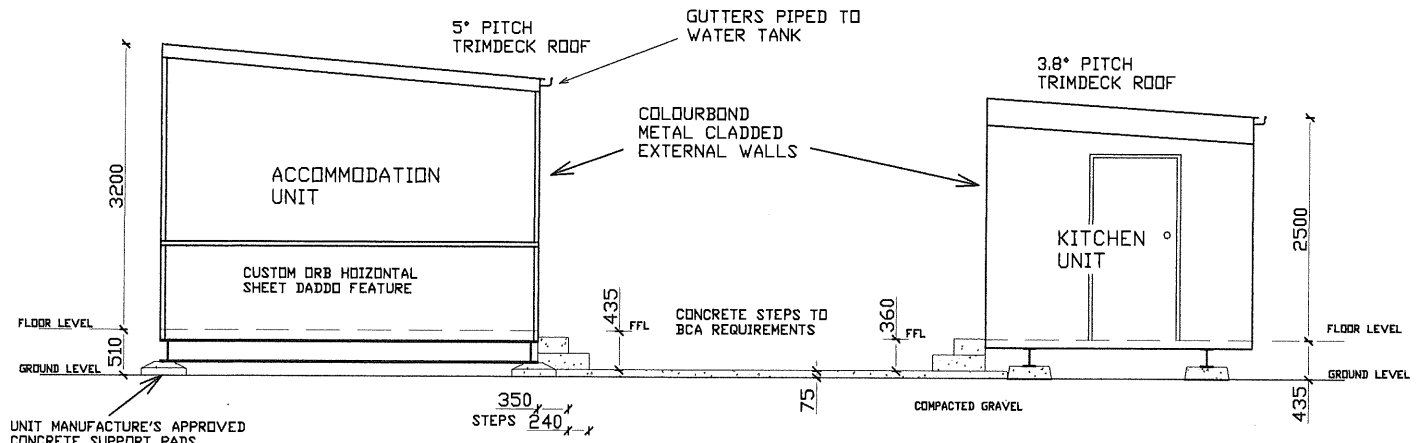


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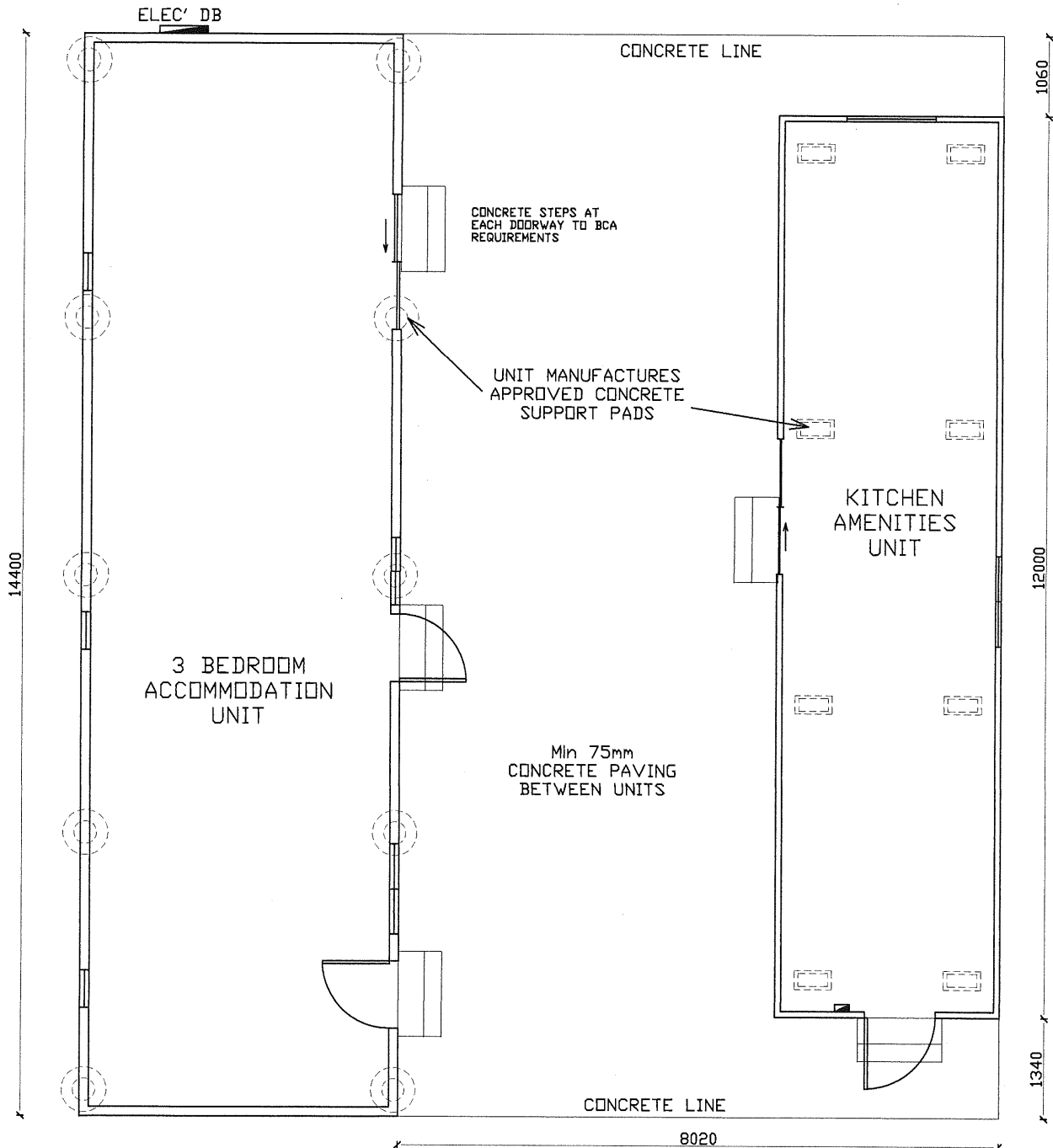
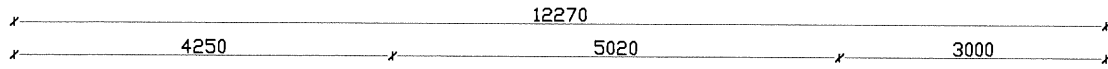
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- METAL STUD INSULATED & LINED WALL FRAME
- METAL CLAD DOORS
- INTERNAL CUPBOARDS & FIXTURES INSTALLED POST SITE DELIVERY

-  ELECTRICAL DISTRIBUTION BOARD
-  TWIN 40W FLURO LIGHT
-  EXTERNAL WALL LIGHT
-  AC INT' UNIT
-  AC EXT' UNIT

GNOWING PARK Pty-Ltd MARTERDINE 155 PUMPHREYS RD PUMPHREYS BRIDGE 6308 WA		TITLE KITCHEN AMENITIES UNIT FLOOR PLAN	
		SCALE 1:40 @ A3	DWG No MARTERDINE-003 REV 0
		DATE 31-05-2023	CHECKED ANDREW WATTS
		DRAWN J AGOSTINELLI	JOB No _____ Sheet Size A3



ELEVATION A



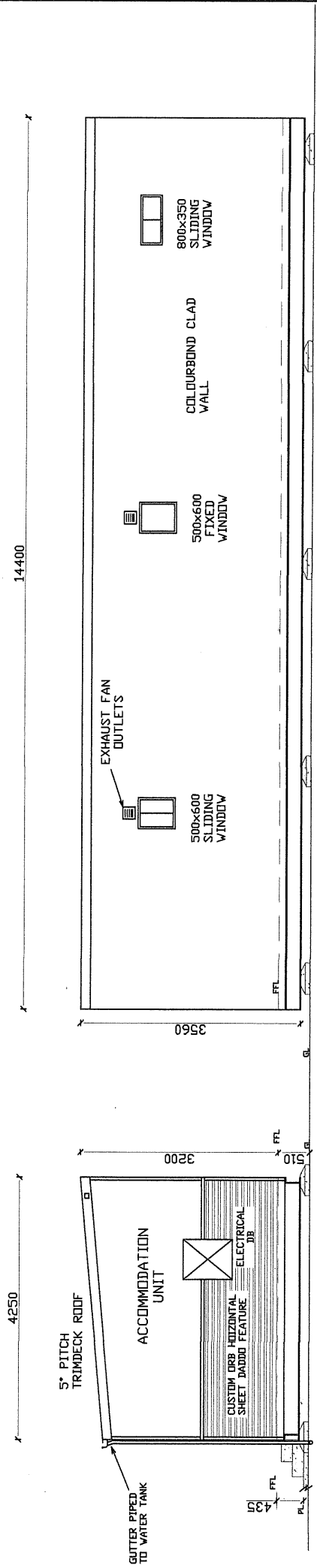
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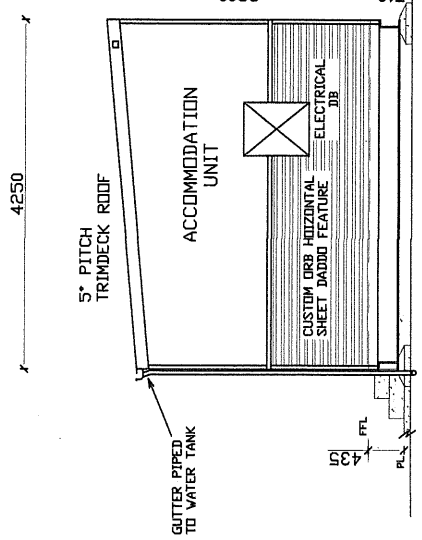
ALL MEASUREMENTS TO BE CONFIRMED ON SITE PRIOR TO ANY WORK



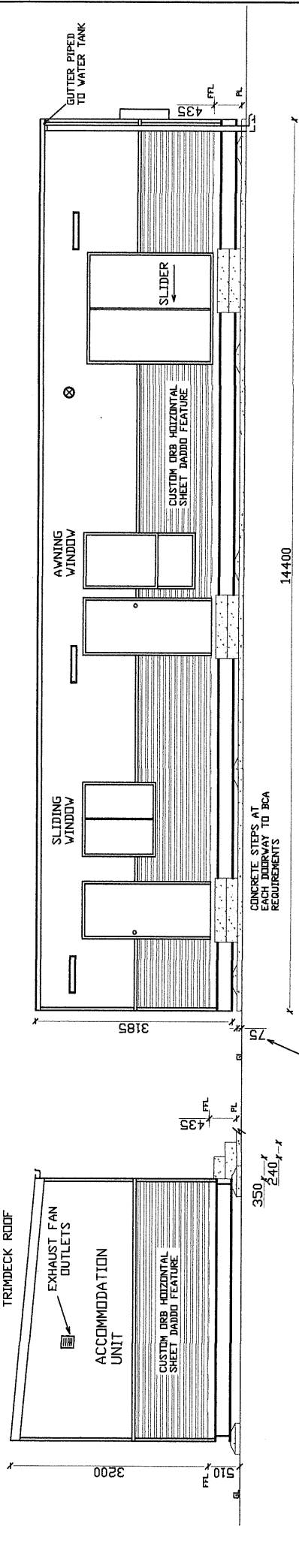
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DRAWN: J AGOSTINELLI	JOB No:	Sheet Size: A3	



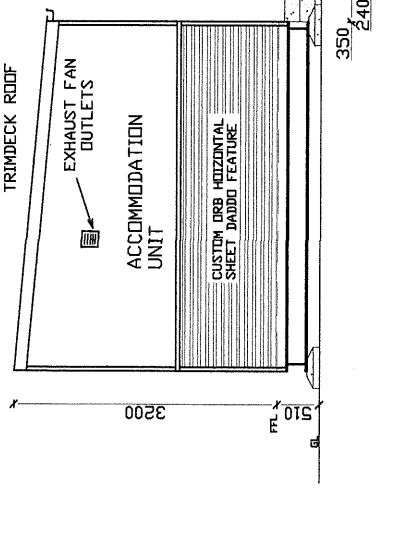
ELEVATION B



ELEVATION C



ELEVATION A



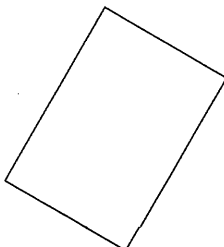
ELEVATION D

CONCRETE STEPS AT EACH DOORWAY TO BCA REQUIREMENTS

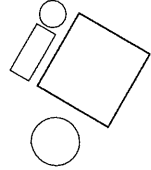
CONCRETE PAVING BETWEEN ACCOMMODATION AND KITCHEN UNITS

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DRAWN	J AGOSTINELLI	JOB No.	
		SHEET No.	A3

KNOWING PARK Pty-Ltd
 MARTERDINE
 155 PUMPHREYS RD
 PUMPHREYS BRIDGE 6308 WA



EXISTING SHEARING AND MACHINERY SHEDS

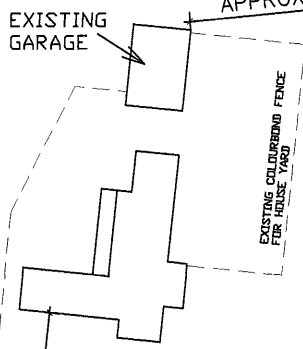


EXISTING GARAGE



180,000 L WATER TANK

APPROX 23m



EXISTING HOUSE

EXISTING COLOURBOND FENCE FOR HOUSE YARD

NEW CAMP ACCOMMODATION & KITCHEN UNITS LOCATION

155 PUMPHREYS ROAD
PUMPHREYS BRIDGE 6308

GRAVEL DRIVE WAY

APPROX 93m

APPROX 117m

GATE

BOUNDARY FENCE LINE



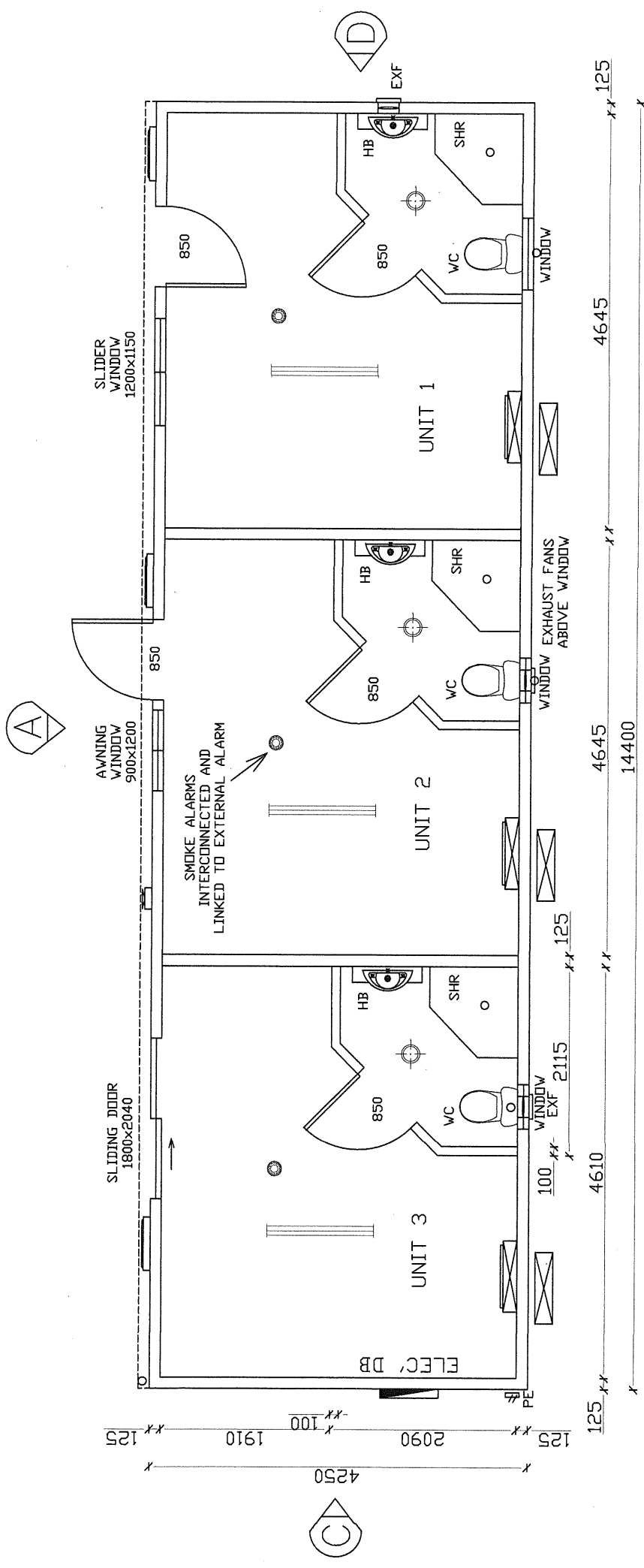
163

PUMPHREYS ROAD

ALL MEASUREMENTS TO BE CONFIRMED ON SITE PRIOR TO ANY WORK











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CAMP UNITS LOCATION		
SCALE	1:600 @ A3	DWG No MARTERDINE-001
DATE	31-05-2023	CHECKED ANDREW WATTS
DRAWN	J AGOSTINELLI	JOB No Sheet Size A3
		REV 0

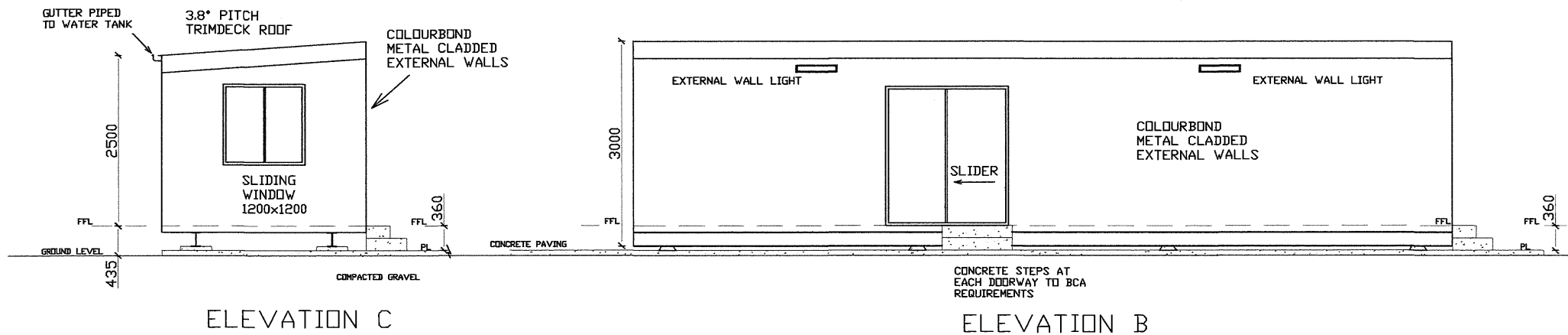
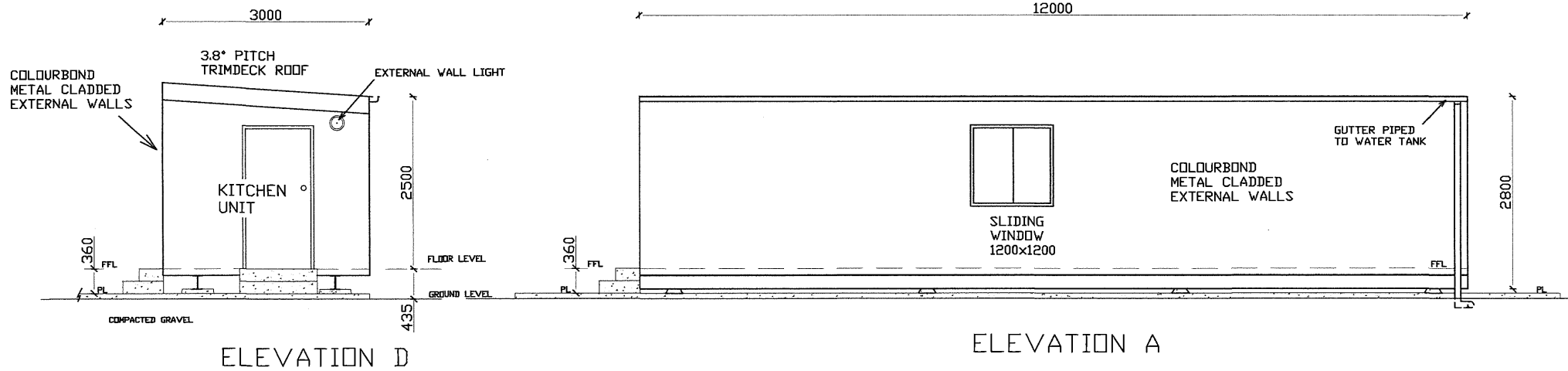


AUSCO MODULAR
 PREFABRICATED
 3 BEDROOM UNIT

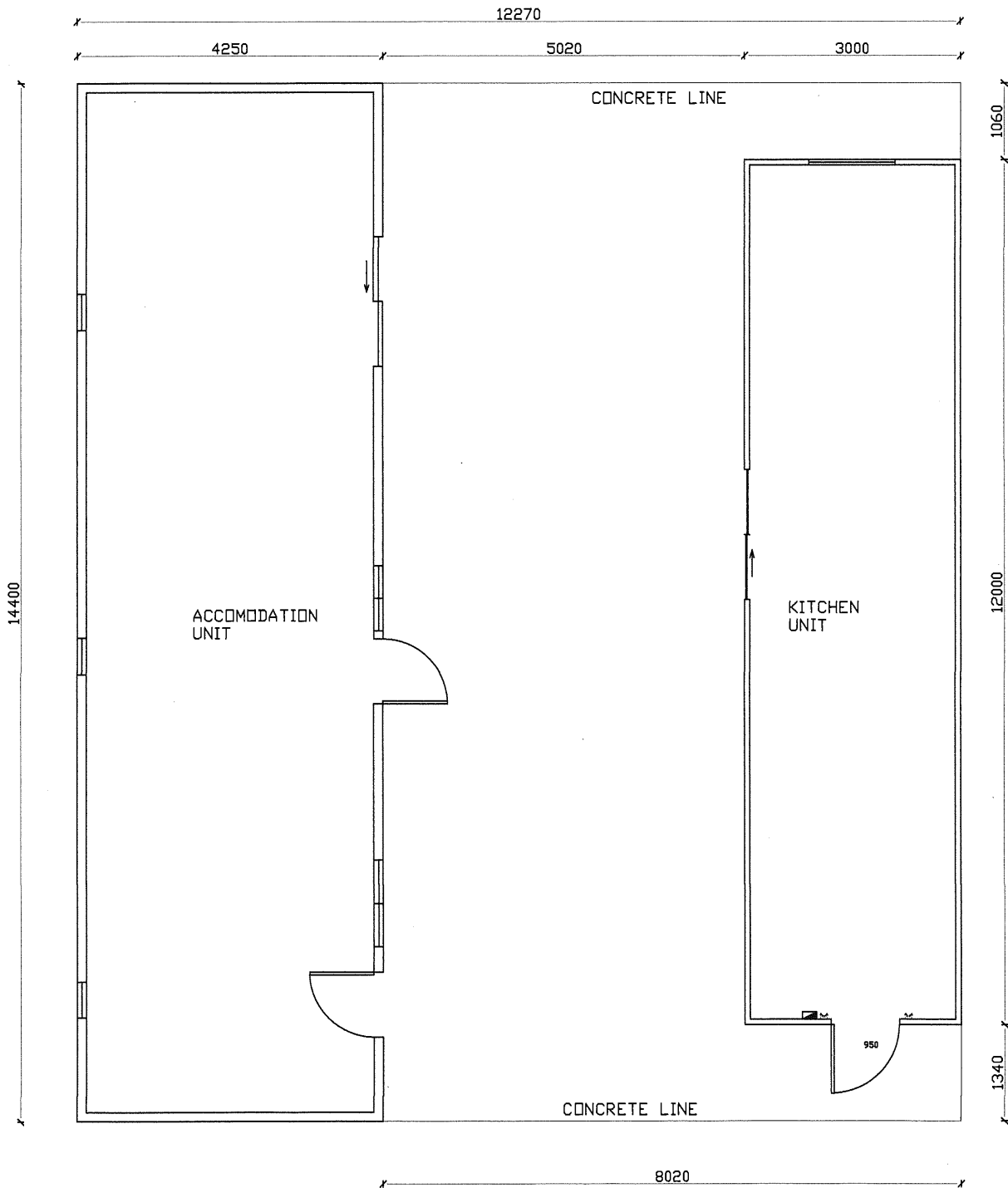
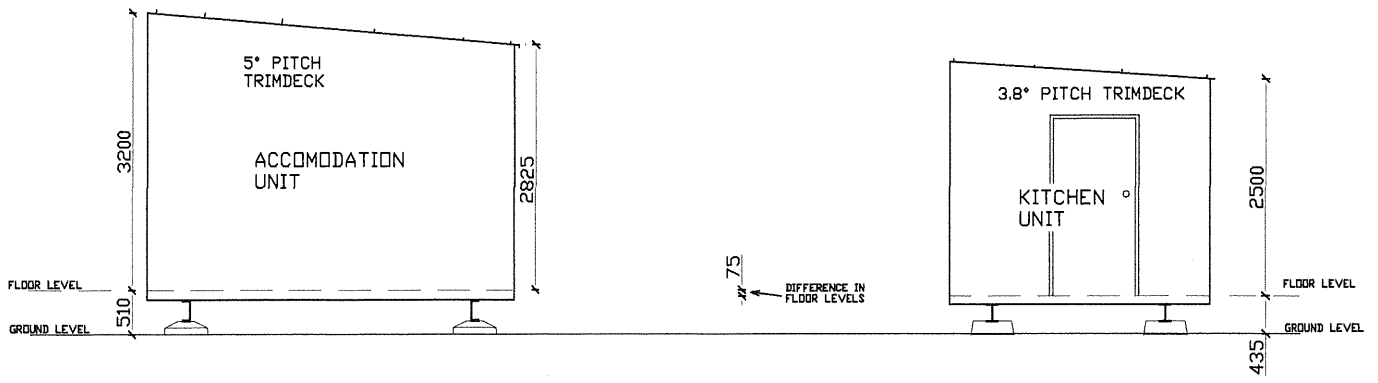
COLOURBOND METAL EXTERNAL LINING
 METAL STUD INSULATED & LINED WALL FRAME
 METAL CLAD DOORS

-  ELECTRICAL DISTRIBUTION BOARD
-  WALL EXHAUST FAN
-  TWIN 40W FLURO LIGHT
-  INTERCONNECTED SMOKE ALARM
-  40W LIGHT BATTEN
-  EXTERNAL WALL LIGHT
-  AC INT' UNIT
-  AC EXT' UNIT
-  EXTERNAL FIRE ALARM
-  PE CELL FOR EXTERNAL SECURITY LIGHTING

GNOWING PARK Ply-Ltd MARTERDINE 155 PUMPHREYS RD PUMPHREYS BRIDGE 6308 WA		TITLE ACCOMMODATION UNIT FLOOR PLAN	
SCALE 1:45 @ A3	JOB No. MARTERDINE-004	REV 0	REV
DRAWN 31-05-2023	CHECKED ANDREW WATTS		
DRAWN J AGOSTINELLI	JOB No.	Sheet Size A3	



GNOWING PARK Pty-Ltd MARTERDINE 155 PUMPHREYS RD PUMPHREYS BRIDGE 6308 WA		TITLE KITCHEN AMENITIES UNIT ELEVATIONS	
SCALE 1:60 @ A3	DATE 31-05-2023	DWG No MARTERDINE-003.1	REV 0
DRAWN J AGOSTINELLI	CHECKED ANDREW WATTS	JOB No	Sheet Size A3

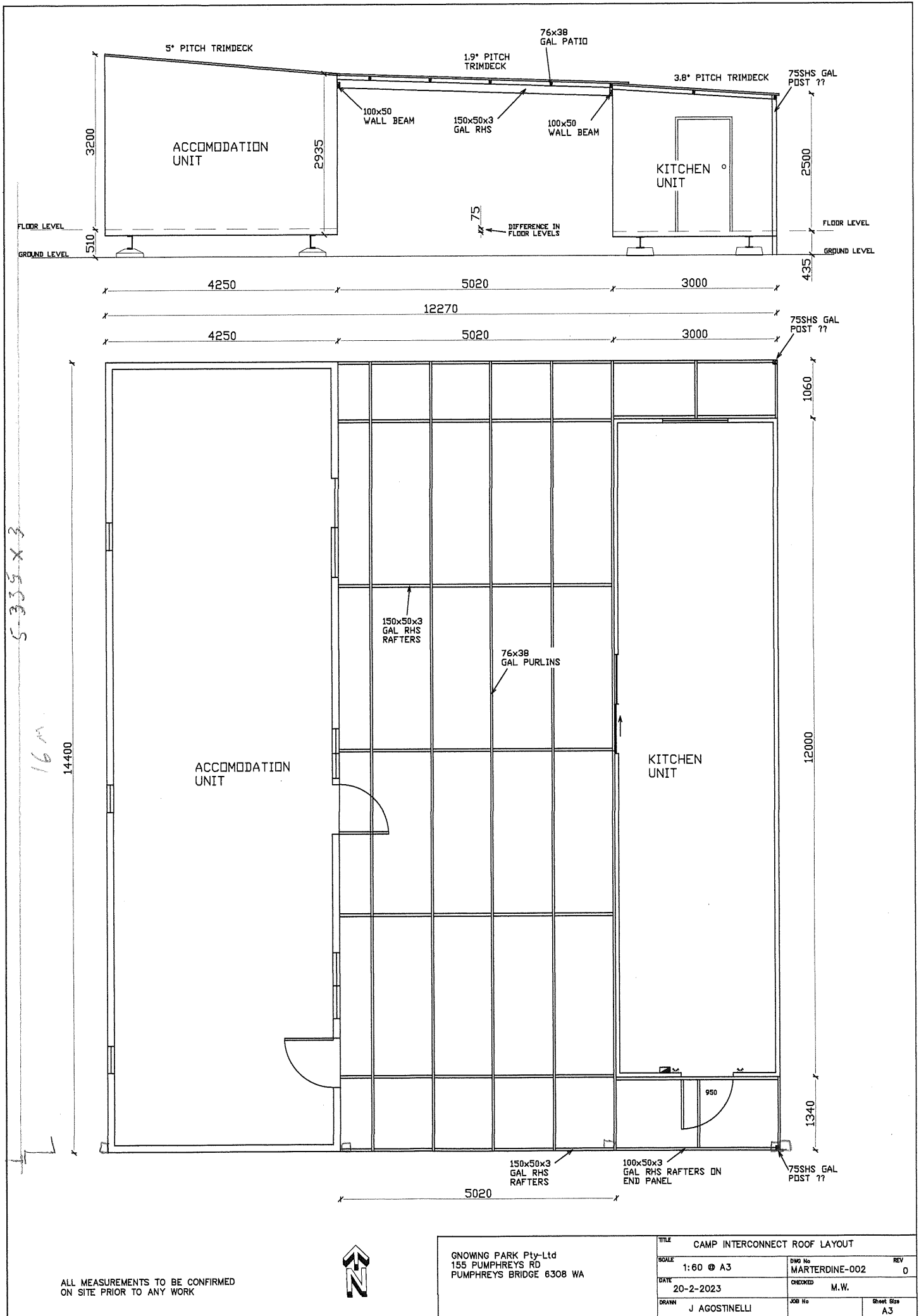


ALL MEASUREMENTS TO BE CONFIRMED
ON SITE PRIOR TO ANY WORK



GNOWING PARK Pty-Ltd
155 PUMPHREYS RD
PUMPHREYS BRIDGE 6308 WA

TITLE CAMP UNITS LAYOUT			
SCALE 1:60 @ A3	DWG No MARTERDINE-002	REV 0	
DATE 20-2-2023	CHECKED M.W.		
DRAWN J AGOSTINELLI	JOB No	Sheet Size A3	



5-335-X-3
16m
14400

ALL MEASUREMENTS TO BE CONFIRMED
ON SITE PRIOR TO ANY WORK



GNOWING PARK Pty-Ltd 155 PUMPHREYS RD PUMPHREYS BRIDGE 6308 WA		TITLE CAMP INTERCONNECT ROOF LAYOUT	
SCALE 1:60 @ A3	DWG No MARTERDINE-002	REV 0	
DATE 20-2-2023	CHECKED M.W.		
DRAWN J AGOSTINELLI	JOB No	Sheet Size A3	

Kitchen / Living Unit - Exterior



Kitchen / Living Unit - Interior



Accommodation Unit – Exterior



Accommodation Unit – Interior Room 1









Accommodation Unit – Interior Room 2





Accommodation Unit – Interior Room 3





18. Closure of Meeting

The Presiding Member to declare the meeting closed.